

BY: MG
 DATE: 04/17/2024
 COMMENTS: aelew@southlandengineers.com

15' - General Utility Easement
 to be reserved before
 closing

LINE	BEARING	LENGTH
L1	S61°42'04"W	54.87
L2	S65°51'17"W	49.81
L3	S48°41'49"W	37.49
L4	S70°11'49"W	23.33
L5	N17°26'47"W	10.01
L6	S17°29'22"E	12.01
L7	S74°54'57"W	189.36
L8	S73°02'47"W	122.77
L9	S89°52'28"W	68.32
L10	S89°22'28"W	61.33
L11	S89°49'19"W	33.29
L12	N0°29'15"E	10.07
L13	N88°37'24"W	10.68
L14	N66°02'38"W	43.50
L15	N18°11'28"W	38.57
L16	N27°11'08"W	112.54
L17	N21°42'42"W	42.81
L18	N12°28'52"W	44.84
L19	N11°52'02"W	74.47
L20	N11°12'02"W	187.76
L21	N66°02'38"W	45.87
L22	N18°11'28"W	40.43
L23	N27°11'08"W	54.22
L24	N27°11'08"W	58.43
L25	N21°42'42"W	37.78
L26	N12°28'52"W	43.99

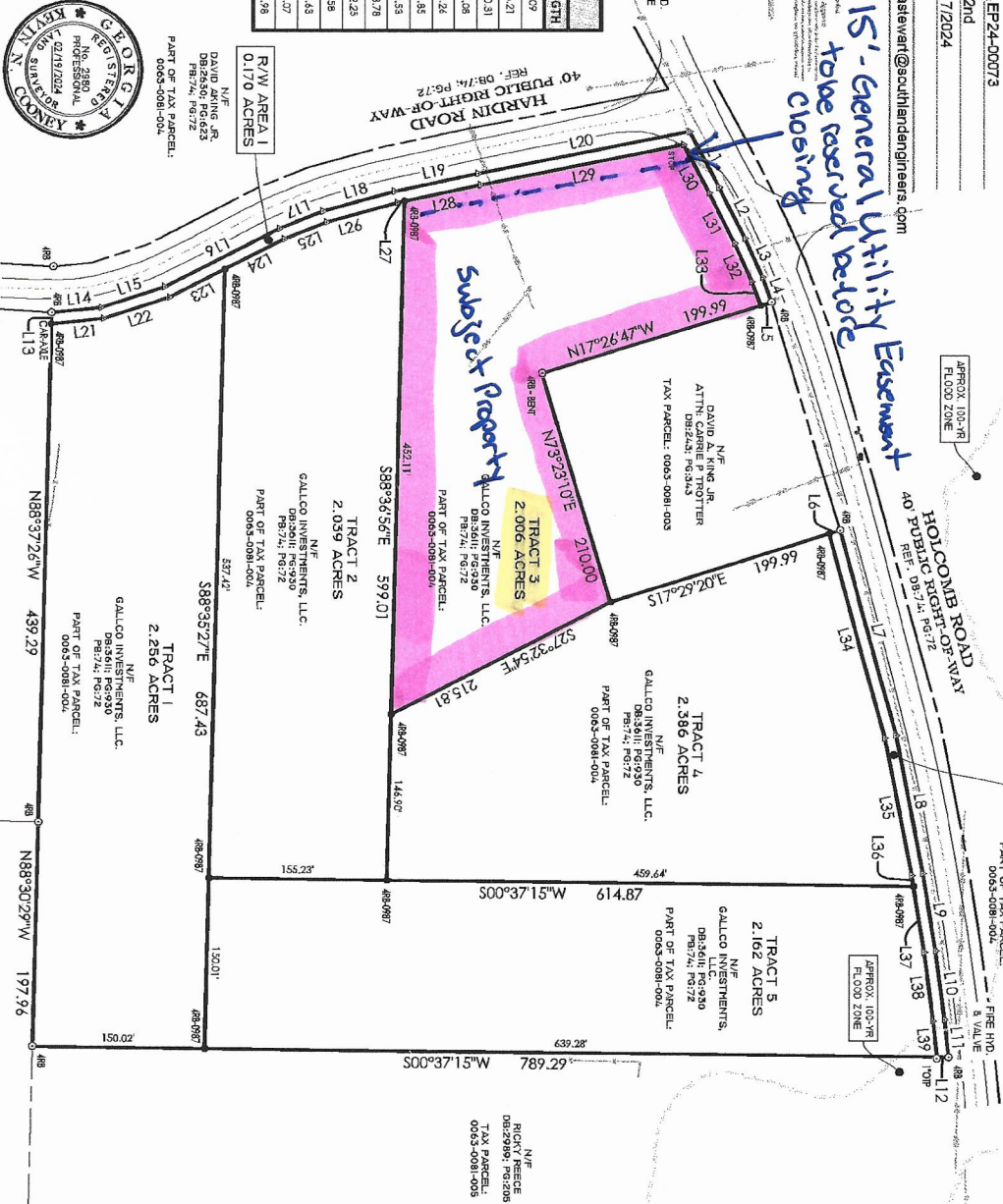
LINE	BEARING	LENGTH
L17	N11°52'02"W	6.09
L18	N18°11'28"W	46.81
L19	N11°20'24"W	183.31
L20	N61°43'04"E	47.26
L21	N62°30'17"E	49.26
L22	N63°41'45"E	34.85
L23	N7°00'00"E	22.53
L24	N74°54'57"E	188.78
L25	N75°00'00"E	122.25
L26	N63°30'56"E	9.58
L27	N63°30'56"E	38.43
L28	N62°22'28"E	61.07
L29	N63°48'15"E	31.98



Conformity Statement
 AS REQUIRED BY SUBSECTION 01 OF C.G.A. SECTION 154-45, THIS PLAN HAS BEEN PREPARED BY A LICENSED SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES. ALL APPLICABLE LOCAL, STATE, AND FEDERAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREBY, SUCH APPROVALS OR APPROVATIONS SHOULD BE CONSIDERED WITH THE APPROPRIATE GOVERNMENTAL BODIES OF ANY JURISDICTION. THE SURVEYOR HAS REVIEWED THE PLAN AND IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND. THE SURVEYOR'S OBLIGATION IS LIMITED TO THE TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYING AND SPECIFICATIONS FOR PROPERTY SURVEYS IN GENERAL AND TO THE RULES AND REGULATIONS OF THE SURVEYING AND MAPPING BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS AND AS SET FORTH IN C.G.A. SECTION 154-45(7).
 DAVID JAMES JR.
 DBS2540 PG-623
 0685-589-934

Surveyor's Acknowledgement
 HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREIN IS A TRUE AND CORRECT SURVEY MADE ON THE BASIS OF A FIELD SURVEY. THE SURVEYOR HAS REVIEWED THE PLAN AND IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND. THE SURVEYOR'S OBLIGATION IS LIMITED TO THE TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYING AND SPECIFICATIONS FOR PROPERTY SURVEYS IN GENERAL AND TO THE RULES AND REGULATIONS OF THE SURVEYING AND MAPPING BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS AND AS SET FORTH IN C.G.A. SECTION 154-45(7).
 DAVID JAMES JR.
 DBS2540 PG-623
 0685-589-934

REGISTERED LAND SURVEYOR
 JENNIFER COONEY
 DATE: 12/08/23



Additional Notes
 1. RECORDING OF THIS PLAN DOES NOT CONSTITUTE APPROVAL FOR A BUILDING PERMIT. OTHER REQUIREMENTS OR PERMITS MAY BE REQUIRED.
 2. THE TOOL-BEARING TOOLS USED FOR THIS SURVEY WERE: TOTAL STATION, GPS, AND LEVEL.
 3. STORM WATER MUST BE ADDED FOR ALL LOT BUILDERS ASSES PRIOR TO ISSUANCE OF LAND CLEARING OR BUILDING PERMITS.
 4. THE OWNER/DEVELOPER/BUILDER'S RESPONSIBILITY TO PREVENT FLOODING OF PROPOSED STRUCTURES AND PERMITMENT W/PROVIDING AS OF DRAINAGE SYSTEMS.
 5. OWNERS/DEVELOPER SHALL NOTIFY BUILDER OF ANY SPECIAL CONDITIONS RELATING TO DRAINAGE AND FLOODING POTENTIAL.

Legend

○	IRON PIN FOUND	⊗	DOUBLE WING CATCH BASIN	⊗	GAS VALVE
□	CONCRETE MON. FOUND	⊗	SINGLE WING CATCH BASIN	⊗	CLEAN OUT
△	IRON PIN PLACED	⊗	JUNCTION BOX	⊗	WATER VALVE
◇	BREAK POINT	⊗	TELEPHONE MANHOLE	⊗	ELECTRIC METER
⊕	PROD. REFERENCE	⊗	YARD INLET	⊗	TRANSFORMER
⊖	SPRING BELIEVED	⊗	WATER INLET	⊗	TELEPHONE FEDERAL
⊗	SPRING BELIEVED	⊗	PRE. HORIZONTAL VALVE	⊗	TELEPHONE COMM. VALVE
⊗	SPRING BELIEVED	⊗	BRICKMARK	⊗	TELEPHONE COMM. VALVE
⊗	SPRING BELIEVED	⊗	WATER LINE	⊗	TELEPHONE COMM. VALVE
⊗	SPRING BELIEVED	⊗	UNDERGROUND PIPE	⊗	TELEPHONE COMM. VALVE

SOUTHLAND ENGINEERING
 CIVIL ENGINEERS - LAND SURVEYORS - LAND PLANNERS
 11400 MILBURN, CAMDEN, NJ 08105
 PH: 732.646.6750
 FAX: 732.646.6751

MINOR SUB-DIVISION SURVEY FOR:
JUSTIN GALLOWAY
 LOCATED IN LAND LOT 81
 6th DISTRICT, 3rd SECTION
 BARTOW COUNTY, GEORGIA

DATE: 02/16/2024 REV: 108-NO-23157-4
 DATE OF FIELDWORK: 03/14/24
 DRAWN BY: RJC CHECKED BY: RJC APPROVED BY: KJC

General Notes
 1. ALL PROPERTY CORNERS ARE 1/2" BENCH, EXCEPT AS NOTED.
 2. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED WAS COLLECTED USING NETWORK ADJUSTED RTK GPS WITH PERMANENT ACCESSORIES OF +/- 0.07 VERTICAL AND +/- 0.01 HORIZONTAL ACCURACIES.
 3. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN +/- IN 1/250,000 FEET.
 4. EQUIPMENT USED: TOPCON 3000V TOTAL STATION, EBN5 2015, AND ROVER WITH DINK COLLECTION.
 5. CENTERLINES OF PAVES OR TRAILS ARE 15.00' AND/OR 20.00' WIDE.
 6. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT THEREOF. THEREFORE, THE SURVEYOR ASSUMES NO LIABILITY FOR ANY ENCUMBRANCES OR INTERFERENCES NOT SHOWN HEREON.
 7. THE SURVEYOR ASSUMES NO LIABILITY FOR ANY ENCUMBRANCES OR INTERFERENCES NOT SHOWN HEREON.

Barrow County Dev. Cert.
 THIS PLAN, HAVING BEEN SUBMITTED TO BARTOW COUNTY AND HAVING BEEN FOUND TO COMPLY WITH THE BARTOW COUNTY DEVELOPMENT STANDARDS AND THE BARTOW COUNTY ZONING ORDINANCES, IS HEREBY CERTIFIED TO BE IN ACCORDANCE WITH THE DEVELOPMENT STANDARDS AND THE BARTOW COUNTY ZONING ORDINANCES.
 DATE: 05/01/2024
 ENGINEERING DIVISION: Matthew Groom
 DATE: 05/01/2024
 ZONING DIVISION: Richard Osborne

Owner's Acknowledgement
 I HEREBY CERTIFY THAT I AM THE OWNER OF THE LAND SHOWN ON THIS PLAN FOR A FULL UNHINDERED ACQUIT THEREBY. I HAVE REVIEWED THIS PLAN AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND. THE SURVEYOR'S OBLIGATION IS LIMITED TO THE TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYING AND SPECIFICATIONS FOR PROPERTY SURVEYS IN GENERAL AND TO THE RULES AND REGULATIONS OF THE SURVEYING AND MAPPING BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS AND AS SET FORTH IN C.G.A. SECTION 154-45(7).
 DATE: 05/01/2024
 SIGNATURE: Justin A. Galloway, Manager for GalloInvestments, LLC
 PRINTED NAME: Justin A. Galloway, Manager for GalloInvestments, LLC

Exhibit "A" - Tract 3 = 2.006 Acres