

DEVELOPER  
GA FARM CREDIT  
101 FORREST AVE.  
CARTERSVILLE, GA 30120  
(770)-382-3637

# GEORGIA FARM CREDIT NEW BRANCH OFFICE

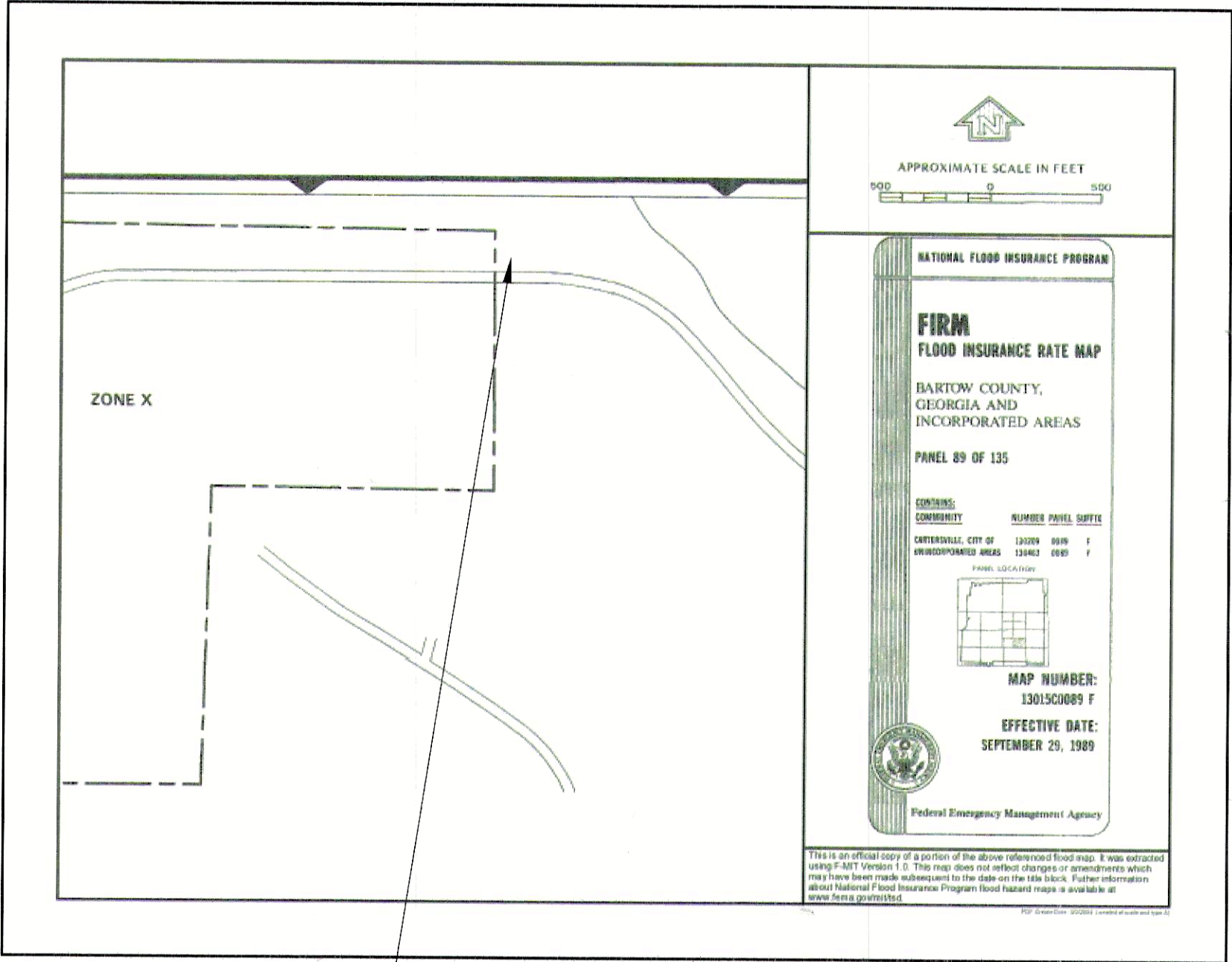
## LAND LOT 390 4th DISTRICT, 3rd SECTION BARTOW COUNTY, GEORGIA

FEB 5, 2004

### SHEET INDEX

- C0.0 GENERAL NOTES AND COVER SHEET
- C1.1 EXISTING CONDITIONS
- C2.1 SITE PLAN/UTILITY
- C2.2 GDOT ENTRANCE PLAN
- C3.1 GRADING & DRAINAGE PLAN
- C4.1 EROSION CONTROL PLAN
- C5.1 EROSION DETAILS
- C6.1 PROFILES
- C7.1 DETAILS

24 HR CONTACT  
HAL REGAN  
(770)-382-3637



LOCATION OF SITE

### FLOOD MAP

NOTE: SITE AREA IS NOT LOCATED IN  
100 YEAR FLOODPLAIN  
AS PER FEMA FLOOD INSURANCE MAP  
# 13015C 0089 F, SEPTEMBER 29, 1989

### GENERAL NOTES

ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION IS COMPLETED.

SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY PROJECT ENGINEER AND/OR THE CITY INSPECTOR.

NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.

ALL EROSION AND SEDIMENTATION CONTROLS, AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING.

ACCEPTED PLANS AND SUBSEQUENT ACCEPTED REVISIONS MUST BE PRESENT ON-SITE AT ALL TIMES.

ACCEPTANCE OF THESE PLANS BY THE CITY DOES NOT RELIEVE PERMIT HOLDER FROM MEETING ALL REQUIREMENTS OF THE "CITY OF ADAMSVILLE ORDINANCE", "FLOOD DAMAGE PREVENTION ORDINANCE", "SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE", THE RULES AND REGULATIONS OF THE CITY HEALTH DEPARTMENT, THE US ARMY CORPS OF ENGINEERS AND ANY OTHER LOCAL, STATE, OR FEDERAL LAW OR REGULATION AS IT RELATES TO DEVELOPMENT IN ADAMSVILLE.

THE LOCATION OF EROSION AND SEDIMENT CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE ACCEPTED PLANS DUE TO CHANGES IN DRAINAGE PATTERNS CREATED DURING CONSTRUCTION. IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO ACCOMPLISH EROSION AND SEDIMENT CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION OR SEDIMENT DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE PROJECT ENGINEER IMMEDIATELY. FAILURE TO PROPERLY INSTALL, OPERATE OR MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY RESULT IN ALL CONSTRUCTION BEING STOPPED UNTIL SUCH MEASURES ARE CORRECTED TO THE SATISFACTION OF THE CITY INSPECTOR.

EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.

DETENTION/SEDIMENT POND(S) AND DIVERSION DITCHES SHALL BE INSTALLED IMMEDIATELY AFTER CLEARING FOR ROADWAY CONSTRUCTION. DETENTION POND(S) SHALL BE RETROFITTED FOR SILTATION CONTROL. ENGINEER SHALL IMMEDIATELY FOLLOW-UP WITH AS-BUILT CERTIFICATION FOR DESIGN COMPLIANCE PRIOR TO ACCEPTANCE OF FINAL PLAN.

OWNER AGREES BY IMPLEMENTATION OF THESE PLANS THAT ALL LAND CLEARING, CONSTRUCTION, DEVELOPMENT AND DRAINAGE ACTIVITIES WILL BE DONE ACCORDING TO THESE ACCEPTED PLANS OR PREVIOUSLY ACCEPTED REVISIONS. OWNER ACKNOWLEDGES THAT ACCEPTANCE OF PLANS BY THE COUNTY IN NO WAY RELIEVES OWNER OF RESPONSIBILITY NOT TO ADVERSELY IMPACT DOWNSTREAM PROPERTY REGARDING ANY LAND DISTURBING ACTIVITY, EROSION AND SEDIMENT CONTROL MEASURE AND/OR STORMWATER MANAGEMENT ACTIVITY DURING OR AFTER CONSTRUCTION. OWNER ACKNOWLEDGES THAT THE ACCEPTANCE OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY WHICH MAY REQUIRE ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY IF ANY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN ACCEPTANCE OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, POLICIES, STANDARDS OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

ANY AND ALL LAND DISTURBANCE PERMITS MAY BE REVOKED AT ANY TIME IF THE CONSTRUCTION OF PROJECT IS NOT IN STRICT ACCORDANCE WITH ACCEPTED PLANS.

DRAINAGE EASEMENTS WILL BE PROVIDED ALONG ALL CONCENTRATED DRAINAGE PATHS A MINIMUM WIDTH OF 20'. REQUIRED WIDTHS AND LOCATIONS WILL BE REFERENCED AND SHOWN OF FINAL PLAN. PROPOSED DRAINAGE DITCHES WILL BE PROVIDED WITH PRIVATELY OWNED EASEMENTS AND ARE TO BE MAINTAINED AND PROTECTED BY INDIVIDUAL LOT OWNERS. NOTICE OF SAME SHALL BE INCLUDED ON FINAL PLAN AND SUBSEQUENT DEEDS OF CONVEYANCE FROM THE DEVELOPER TO THE INDIVIDUAL LOT OWNERS. OPEN DRAINAGE DITCHES SHALL BE 4:1 SIDE SLOPES OR FLATTER AND FALL ENTIRELY WITHIN EASEMENT. RESIDENTIAL FENCES AND OTHER FLOW OBSTRUCTIONS ARE NOT ALLOWED WITHIN DRAINAGE EASEMENTS.

THE PERFORMANCE OF ALL STORM WATER DRAINAGE SYSTEMS INCLUDING DETENTION FACILITIES HAVE BEEN CHECKED USING THE 100-YEAR STORM (DEVELOPED CONDITION) FOR EVALUATION OF LOCAL FLOODING AND POSSIBLE FLOOD HAZARDS TO ADJACENT STRUCTURES AND/OR PROPERTY. THE CUMULATIVE EFFECT OF THE PROPOSED DEVELOPMENT, WHEN COMBINED WITH ALL OTHER EXISTING AND ANTICIPATED DEVELOPMENT WILL NOT INCREASE THE WATER SURFACE ELEVATION OF THE BASE FLOOD MORE THAN ON FOOT AT ANY POINT WITHIN THE COMMUNITY.

IF ACTUAL SITE CONDITIONS VARY FROM ACCEPTED PLANS, IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO INFORM THE ENGINEER OF RECORD AND THE COUNTY ZONING ADMINISTRATOR FOR ASSESSMENT OF CONDITION. PROJECT CONSTRUCTION MAY BE DELAYED DURING ASSESSMENT PERIOD.

ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF ANY LAND DISTURBING ACTIVITY WITHIN WETLAND AREAS. IT IS THE OWNER'S RESPONSIBILITY TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.

IT IS THE OWNER'S RESPONSIBILITY TO ENSURE THAT ALL COMMERCIAL LOTS HAVE SUFFICIENT GRADE AND ADEQUATE DRAINAGE TO PREVENT FLOODING OF PROPOSED STRUCTURES AND PERTINENT IMPROVEMENTS SUCH AS ON-SITE SEPTIC SYSTEMS. DEVELOPER SHALL NOTIFY BUILDER OF ANY SPECIAL CONDITIONS RELATING TO LOT DRAINAGE AND FLOODING POTENTIAL.

DEED RESTRICTIONS ARE REQUIRED FOR LOTS AFFECTED BY DETENTION POND(S) TO PROTECT POND FROM UNAUTHORIZED USE OR ACTIVITY. THE OWNER SHALL GRANT TO THE CITY, A PERPETUAL, NON-EXCLUSIVE EASEMENT WHICH ALLOWS FOR PUBLIC INSPECTION/MAINTENANCE AND EMERGENCY REPAIR FOR THE DETENTION POND(S). THE EASEMENTS SHALL BE RECORDED WITH THE CLERK OF SUPERIOR COURT OF BARTOW COUNTY PRIOR TO ACCEPTANCE OF FINAL PLAN.

DEVELOPER SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TRAFFIC BARRICADES AND WARNING SIGNAGE TO THE SATISFACTION OF THE PUBLIC WORKS DEPARTMENT WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE MADE.

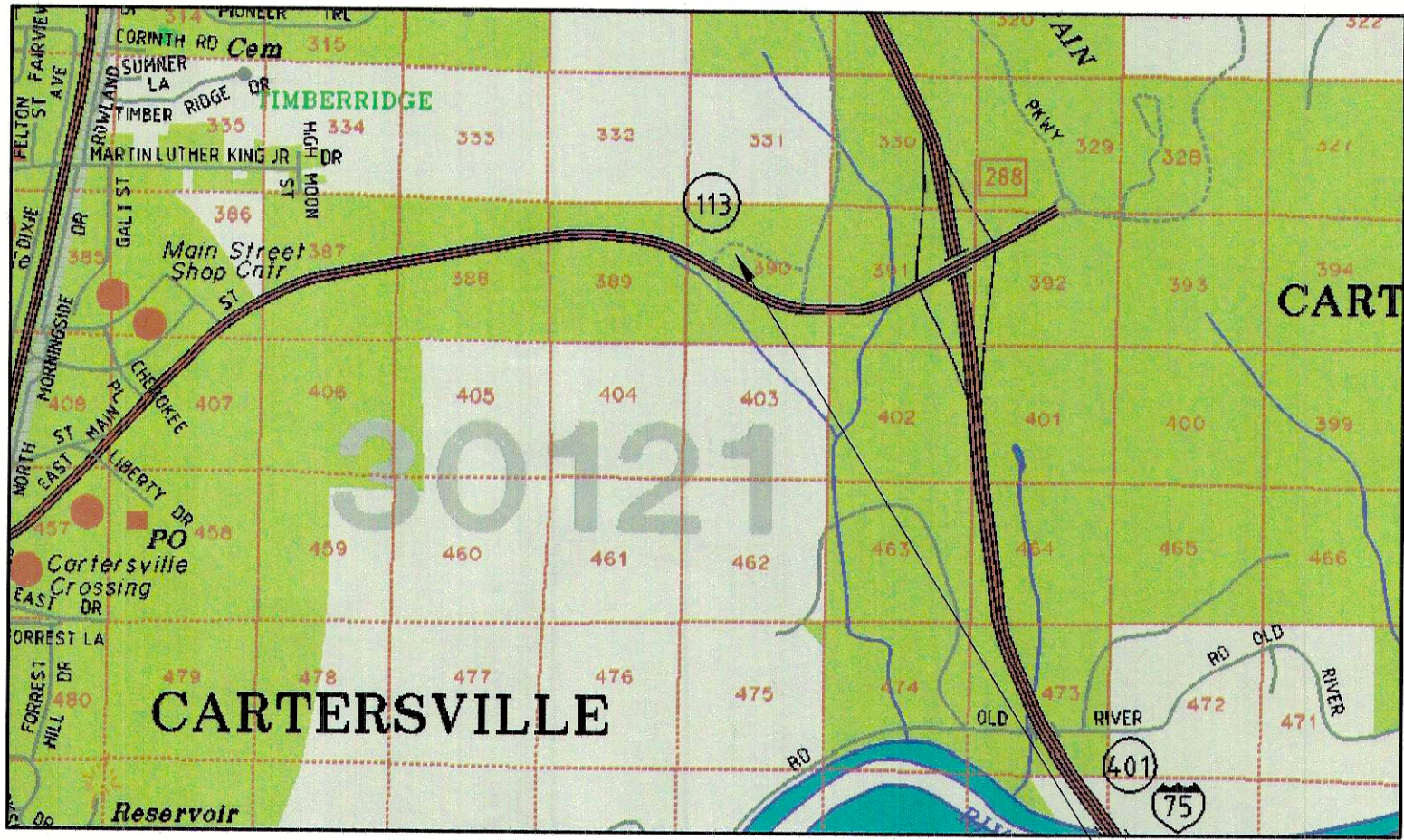
OWNER/DEVELOPER IS RESPONSIBLE FOR MAINTAINING CONTROL OF SILT ON-SITE AT ALL TIMES. DEVELOPER IS ALSO RESPONSIBLE FOR CONTROL OF SILT THAT IS TRACKED ONTO COUNTY R/W OR SUBDIVISION STREETS BY BUILDERS, CONTRACTORS, SUBCONTRACTORS, UTILITY COMPANIES OR ANY OTHERS DURING CONSTRUCTION UNTIL STREET HAS BEEN ACCEPTED BY COUNTY PUBLIC WORKS DEPARTMENT.

MAINTAIN A MINIMUM 2' OF COVER OVER STORM PIPES. ALL CORRUGATED METAL PIPE TO BE MAINTAINED BY COUNTY SHALL BE FULLY ASPHALT COATED. PAVED INVERTS ARE REQUIRED IN PERENNIAL STREAMS. PIPE GAGE DETERMINED BASED ON DEPTH OF COVER AND LOADING CONDITIONS.

DEBRIS FILLS ARE STRICTLY PROHIBITED AT ALL CONSTRUCTION SITES OR WITHIN ANY DEVELOPMENT. ALL WASTE AND CONSTRUCTION DEBRIS GENERATED FROM CONSTRUCTION MUST BE PROPERLY DISPOSED OF IN THE BARTOW COUNTY LANDFILL. APPROVAL OF PERMIT-BY-RULE FOR INERT LANDFILLS IS REQUIRED BY STATE D.N.R.

ALL STREET AND STOP SIGNS MUST BE INSTALLED PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.

DEEDS OF DEDICATION FOR PUBLIC RIGHTS-OF-WAY, DETENTION PONDS AND ACCESS TO DETENTION PONDS MUST BE SUBMITTED PRIOR TO ACCEPTANCE OF FINAL PLAN. THE OWNER/DEVELOPER IS RESPONSIBLE FOR RECORDING SAID DEEDS AFTER ACCEPTANCE BY THE COMMISSIONER. OWNER/DEVELOPER SHALL WARRANT THE ROADS AND/OR STREETS AND DETENTION PONDS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.



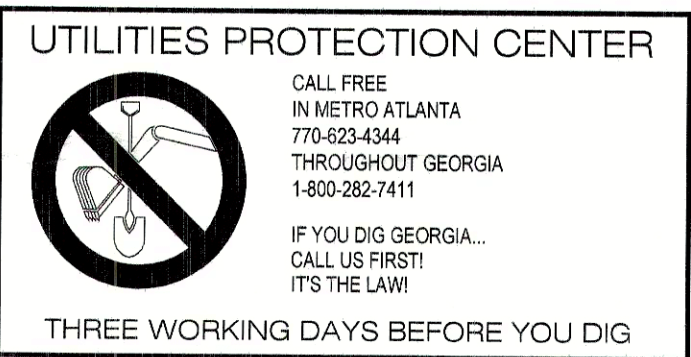
LOCATION OF SITE

### VICINITY MAP NTS

### \*NOTES\*

- a. Storm water detention facility(ies) shall remain in place as approved and as-built certified in perpetuity and shall not be encroached upon for any reason.
- b. Detention facility(ies) shall be inspected on a semi-annual basis by owner. Any accumulated trash, sediment, or debris shall be removed and disposed of in an approved manner.
- c. Owner/Developer shall accept full liability for the safety of all persons in or around the detention facility(ies) at all times.
- d. Owner/Developer shall indemnify THE CITY against all suits brought about by the existence of the detention facility(ies).
- e. Owner/Developer shall provide that obligations be transferred to all successors and assigns of property, and shall accept responsibility for informing such successors and assigns of said obligations.
- f. All existing and proposed storm drainage features affecting this development have been evaluated and/or designed in accordance with THE CITY requirements and will not adversely impact any proposed on-site improvements or upstream or downstream property.

TOTAL AREA = 1.0 ACRES  
TOTAL DISTURBED = .97 ACRES



### ENGINEER

SOUTHLAND ENGINEERING  
CONSULTING ENGINEERS  
925 NORTH TENNESSEE ST.  
CARTERSVILLE, GEORGIA 30120  
CONTACT: MR. KARL LUTJENS  
TELEPHONE: (770) 387-0440

DATE	REVISIONS	DESCRIPTION
3/1/04	1	SUBMITTAL TO GDOT
2/24/04	1	SUBMITTAL TO CITY OF CARTERSVILLE



DESIGNED :  
DRAWN :  
CHECKED :  
APPROVED :

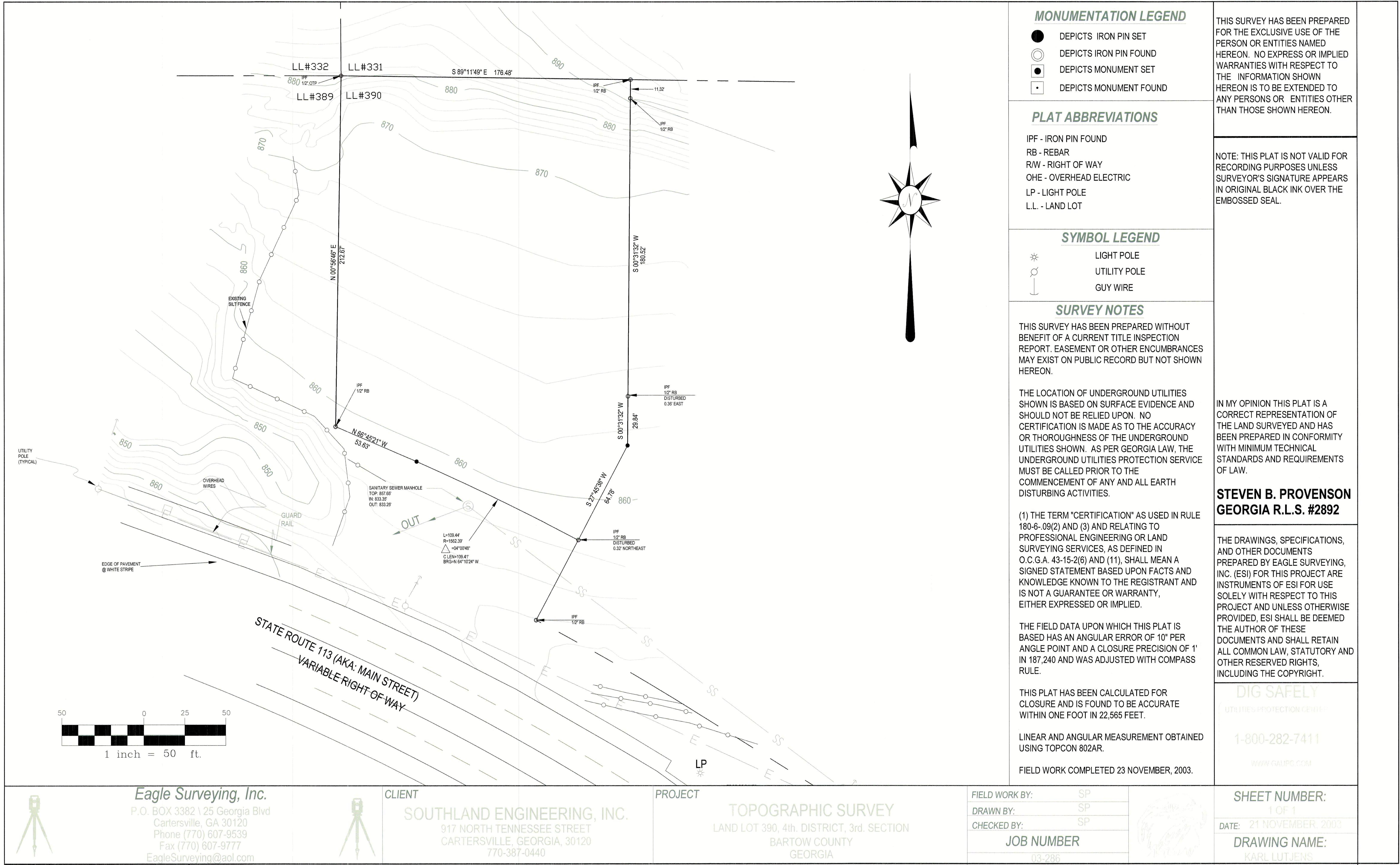
**SOUTHLAND ENGINEERING INC.**  
925 NORTH TENNESSEE ST.  
CARTERSVILLE, GA 30120  
(770) 387-0440

**GA FARM CREDIT  
STATE ROUTE 113**  
LAND LOT 390, 4th DIST., 3rd SECT  
BARTOW COUNTY, GEORGIA

### GENERAL NOTES/ COVER SHEET

PROJ. NO.: 011-03  
DATE: 1-13-04  
SCALE: 1"=SCALE'  
DWG. NO.:





MONUMENTATION LEGEND

- DEPICTS IRON PIN SET
- DEPICTS IRON PIN FOUND
- DEPICTS MONUMENT SET
- DEPICTS MONUMENT FOUND

PLAT ABBREVIATIONS

- IPF - IRON PIN FOUND
- RB - REBAR
- R/W - RIGHT OF WAY
- OHE - OVERHEAD ELECTRIC
- LP - LIGHT POLE
- L.L. - LAND LOT

SYMBOL LEGEND

- \* LIGHT POLE
- UTILITY POLE
- GUY WIRE

SURVEY NOTES

THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A CURRENT TITLE INSPECTION REPORT. EASEMENT OR OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD BUT NOT SHOWN HEREON.

THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS BASED ON SURFACE EVIDENCE AND SHOULD NOT BE RELIED UPON. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE UNDERGROUND UTILITIES SHOWN. AS PER GEORGIA LAW, THE UNDERGROUND UTILITIES PROTECTION SERVICE MUST BE CALLED PRIOR TO THE COMMENCEMENT OF ANY AND ALL EARTH DISTURBING ACTIVITIES.

(1) THE TERM "CERTIFICATION" AS USED IN RULE 180-6-.09(2) AND (3) AND RELATING TO PROFESSIONAL ENGINEERING OR LAND SURVEYING SERVICES, AS DEFINED IN O.C.G.A. 43-15-2(6) AND (11), SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS AN ANGULAR ERROR OF 10" PER ANGLE POINT AND A CLOSURE PRECISION OF 1' IN 187,240 AND WAS ADJUSTED WITH COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 22,565 FEET.

LINEAR AND ANGULAR MEASUREMENT OBTAINED USING TOPCON 802AR.

FIELD WORK COMPLETED 23 NOVEMBER, 2003.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON. NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

NOTE: THIS PLAT IS NOT VALID FOR RECORDING PURPOSES UNLESS SURVEYOR'S SIGNATURE APPEARS IN ORIGINAL BLACK INK OVER THE EMBOSSED SEAL.

IN MY OPINION THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED AND HAS BEEN PREPARED IN CONFORMITY WITH MINIMUM TECHNICAL STANDARDS AND REQUIREMENTS OF LAW.

STEVEN B. PROVENSON  
GEORGIA R.L.S. #2892

THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY EAGLE SURVEYING, INC. (ESI) FOR THIS PROJECT ARE INSTRUMENTS OF ESI FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, ESI SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.

DIG SAFELY

UTILITIES PROTECTION CENTER

1-800-282-7411

WWW.GAUPC.COM

SHEET NUMBER:

1 OF 1

DATE: 21 NOVEMBER, 2003

DRAWING NAME:

KARL LUTJENS

Eagle Surveying, Inc.

P.O. BOX 3382 \ 25 Georgia Blvd  
Cartersville, GA 30120  
Phone (770) 607-9539  
Fax (770) 607-9777  
EagleSurveying@aol.com

CLIENT

SOUTHLAND ENGINEERING, INC.

917 NORTH TENNESSEE STREET  
CARTERSVILLE, GEORGIA, 30120  
770-387-0440

PROJECT

TOPOGRAPHIC SURVEY

LAND LOT 390, 4th. DISTRICT, 3rd. SECTION  
BARTOW COUNTY  
GEORGIA

FIELD WORK BY:

SP

DRAWN BY:

SP

CHECKED BY:

SP

JOB NUMBER

03-286



EXISTING CONDITIONS  
SURVEY

GA FARM CREDIT  
STATE ROUTE 113

LAND LOT 390, 4th DIST., 3rd SECT  
BARTOW COUNTY, GEORGIA

SOUTHLAND ENGINEERING INC.

925 NORTH TENNESSEE ST.  
CARTERSVILLE, GA 30120  
(770) 387-0440

DESIGNED :

DRAWN :

CHECKED :

APPROVED :



DATE	REVISIONS	DESCRIPTION
3/1/04	1	SUBMITTAL TO GDOT
2/24/04	1	SUBMITTAL TO CITY OF CARTERSVILLE

PROJ. NO. : CITY-05

DATE : 1-15-04

SCALE : 1"=500'

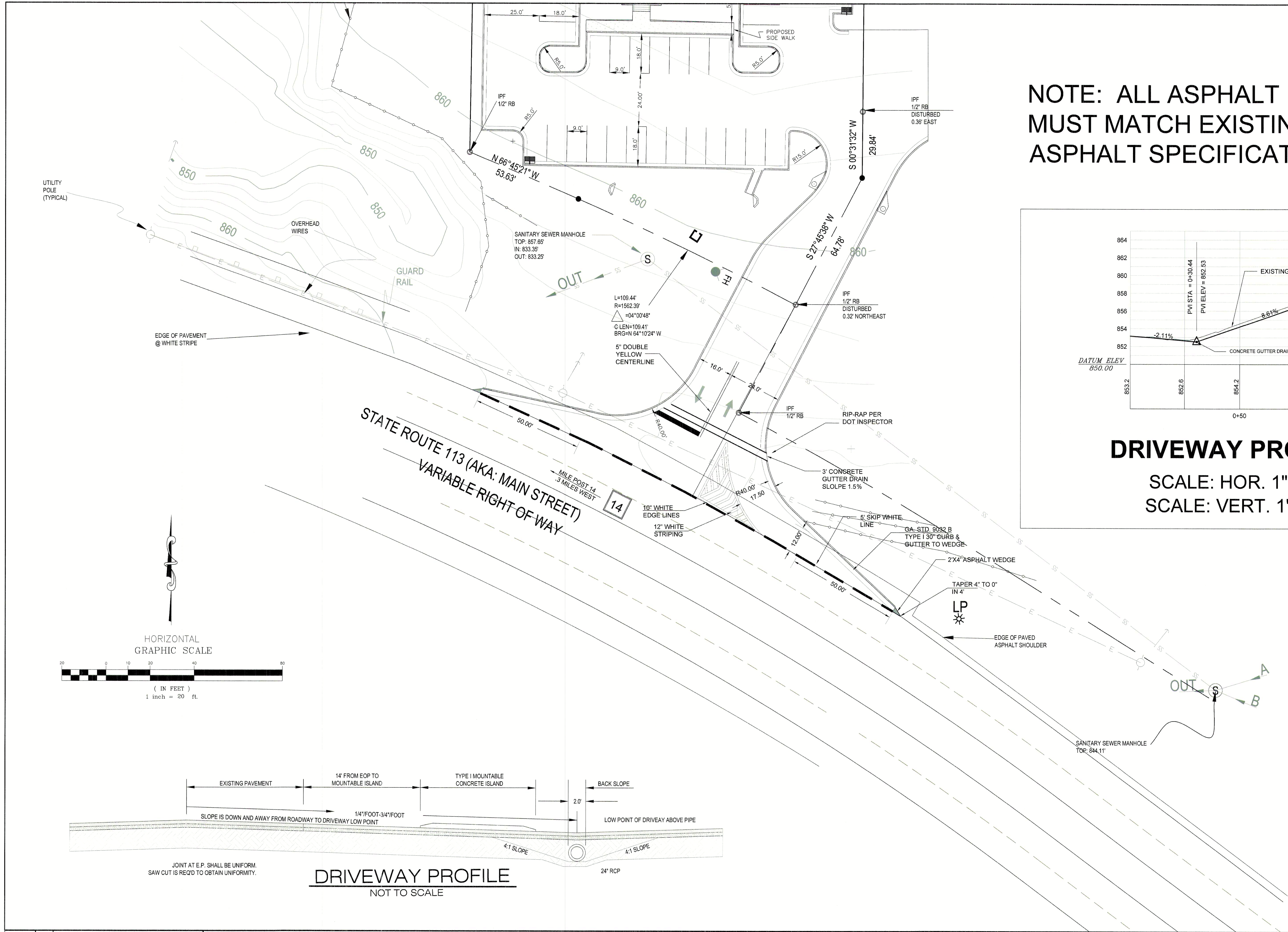
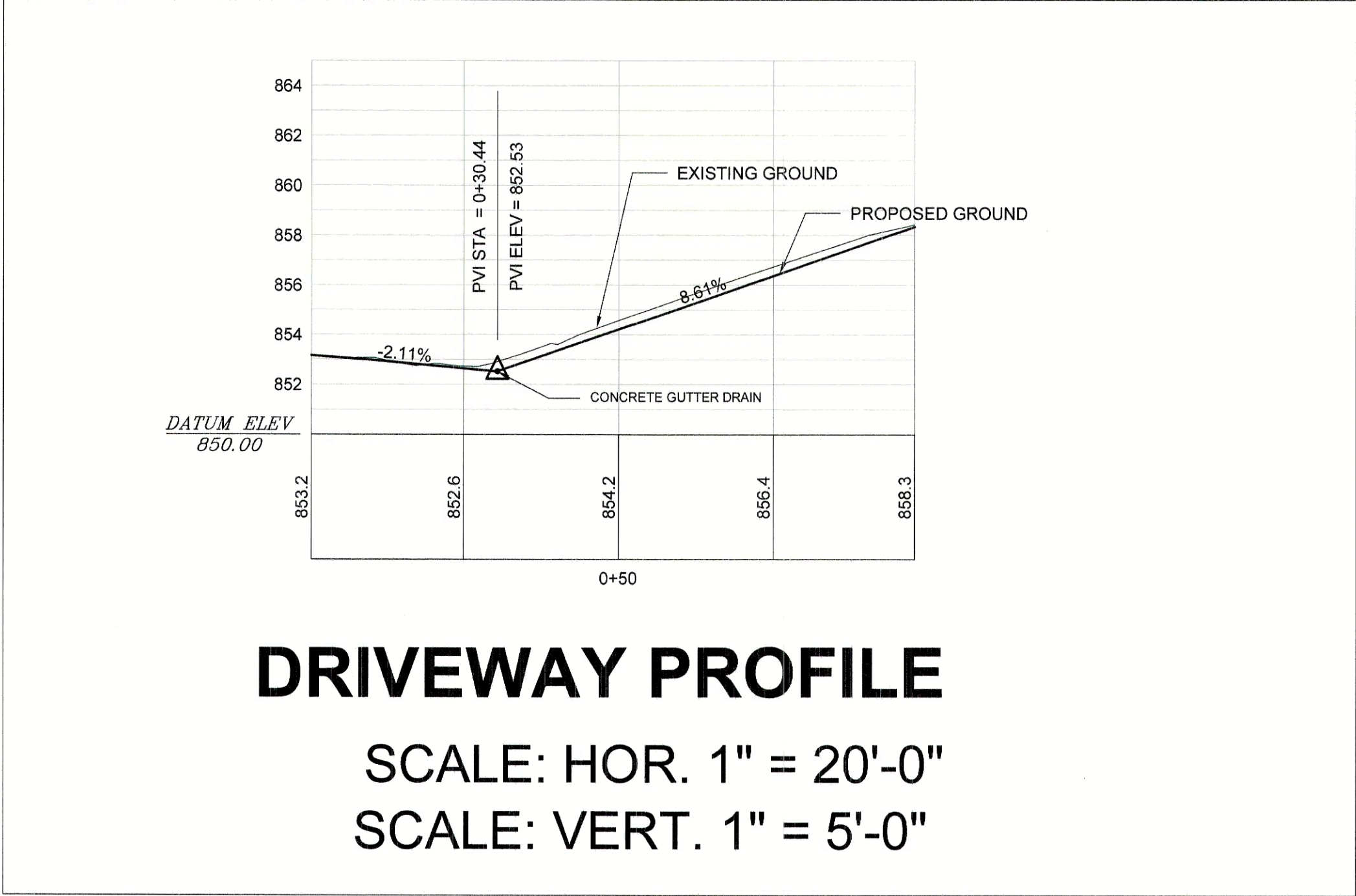
DWG. NO. : C1.1







NOTE: ALL ASPHALT IN DOT R/W  
MUST MATCH EXISTING DOT  
ASPHALT SPECIFICATIONS

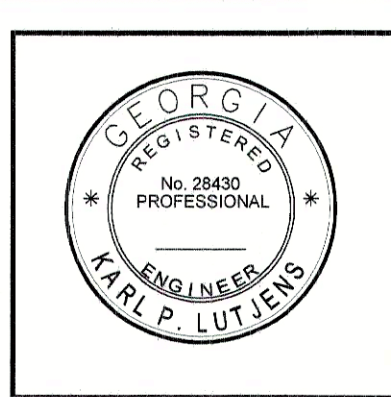


Call Before You Dig !!



Utilities Protection Center  
(800) 282-7411

DATE	REVISIONS	DESCRIPTION
3/1/04	1	SUBMITTAL TO GDOT
2/24/04	1	SUBMITTAL TO CITY OF CARTERSVILLE



DESIGNED :  
DRAWN :  
CHECKED :  
APPROVED :

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CARTERSVILLE, GA 30120  
(770) 387-0440

**GA FARM CREDIT  
STATE ROUTE 113**  
LAND LOT 390, 4th DIST., 3rd SECT  
BARTOW COUNTY, GEORGIA

**GDOT DRIVEWAY  
PLAN**

PROJ. NO.: CITY-05  
DATE: 1-15-04  
SCALE: 1"=SCALE  
DWG. NO.: **C2.2**

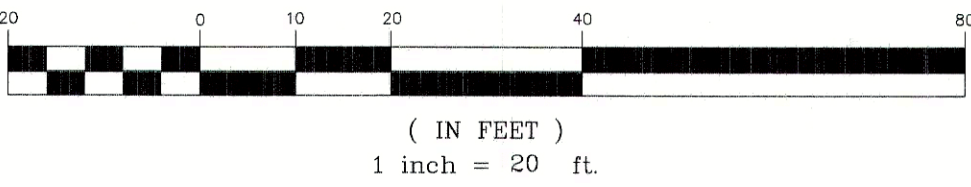


GRADING NOTES

- UNDERCUTTING IS REQUIRED IN ALL AREAS WHERE MATERIAL IS DETERMINED TO BE UNSUITABLE (BY A REGISTERED GEOTECHNICAL ENGINEER) FOR STRUCTURAL BACKFILL MATERIAL.
- ALL TREES, STUMPS, ROOTS, DEBRIS, AND OTHERWISE DELETERIOUS MATERIAL MAY NOT BE BURIED OR DISPOSED OF ON SITE WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- ALL SLOPES SHALL BE 2:1 MAXIMUM, UNLESS SPECIFIED OTHERWISE OR WITH WRITTEN APPROVAL FROM THE ENGINEER.
- STRIP TOPSOIL AND VEGETATION FROM ALL WORK AREAS PRIOR TO GRADING.
- COMPACT FILL TO 95% STD PROCTOR DENSITY. COMPACT TOP 12" IN BLDG AREAS TO 100% SPD FOR AN AREA EXTENDING 10' BEYOND SLAB IN ALL DIRECTIONS.
- STOCKPILES TO BE COMPACTED TO 90% SPD IN TOP 2' TO PREVENT INFILTRATION OF MOISTURE.

INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS BASED ON INFORMATION READILY AVAILABLE AT THE TIME OF PREPARATION. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE TAKEN INTO CONSIDERATION BY THOSE USING THIS DOCUMENT. THE LOCATION AND DISPOSITION OF UTILITIES SHOWN MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AFFECTED BY HIS WORK PRIOR TO BEGINNING ANY CONSTRUCTION OR LAND DISTURBANCE. THIS DOCUMENT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. USE OF THIS DOCUMENT DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT THE EXPRESS RECERTIFICATION BY THE ENGINEER. THE RECORD DRAWINGS AND DESIGN DOCUMENTS FOR THIS PROJECT ARE ON FILE AT THE OFFICES OF SOUTHLAND ENGINEERING. ANY ALTERATION OR REVISION TO THESE DOCUMENTS BY PERSONS OTHER THAN PROFESSIONAL EMPLOYEES OF ROE SHALL NOT BE PERMITTED. SOUTHLAND ENGINEERING SHALL NOT BE HELD LIABLE FOR ANY CLAIMS MADE ARISING FROM UNAUTHORIZED ALTERATIONS, REVISIONS OR USE.

HORIZONTAL  
GRAPHIC SCALE

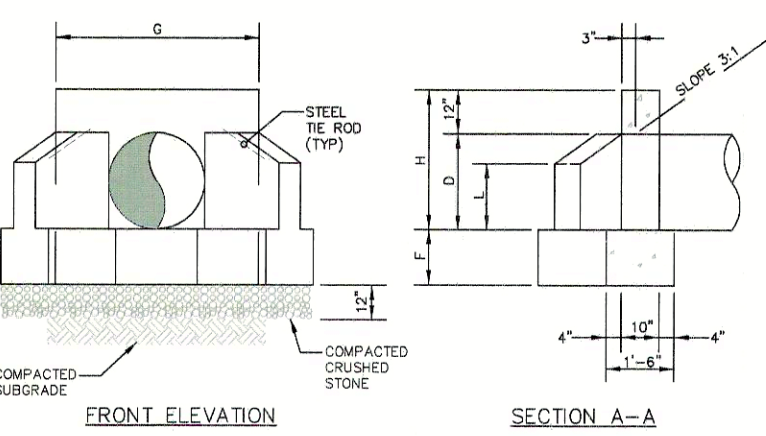


UTILITY  
POLE  
(TYPICAL)

OVERHEAD  
WIRES

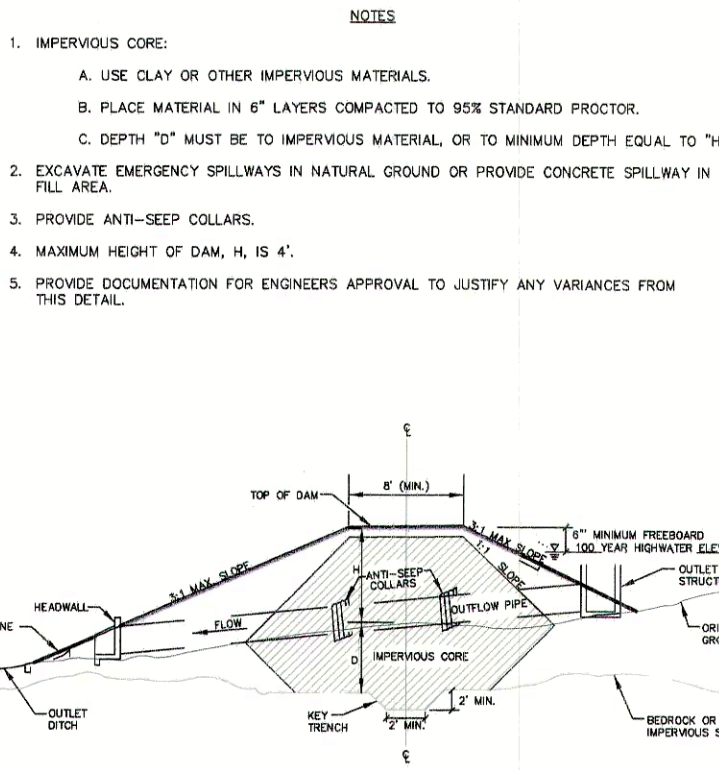
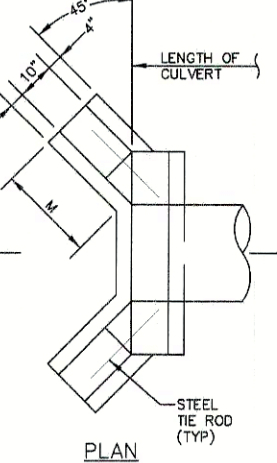
GUARD  
RAIL

EDGE OF PAVEMENT  
@ WHITE STRIPE



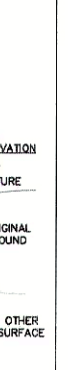
DIMENSIONS									
OPENING	WALL	FOOTING							
D	H	S	L	M	P				
18"	1.8	2'-0"	3'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
24"	3.3	3'-0"	4'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
30"	4.9	3'-0"	4'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
36"	7.1	4'-0"	5'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
42"	9.8	4'-0"	5'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
48"	12.6	5'-0"	6'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
54"	15.0	5'-0"	6'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
60"	18.0	6'-0"	7'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"

- NOTES
- TAKEN FROM GEORGIA DOT DETAIL NO. 1001-B.
  - USE DIMENSIONS FOR 18" OPENING FOR PIPES LESS THAN 18".
  - USE PRECAST CONCRETE HEADWALL.



NOTES

- IMPERVIOUS CORE:
  - USE CLAY OR OTHER IMPERVIOUS MATERIALS.
  - PLACE MATERIAL IN 6" LAYERS COMPACTED TO 95% STANDARD PROCTOR.
  - DEPTH "D" MUST BE TO IMPERVIOUS MATERIAL OR TO MINIMUM DEPTH EQUAL TO "H".
- EXCAVATE EMERGENCY SPILLWAYS IN NATURAL GROUND OR PROVIDE CONCRETE SPILLWAY IN FILL AREA.
- PROVIDE ANTI-SLEEP COLLARS.
- MAXIMUM HEIGHT OF DAM, H, IS 4'.
- PROVIDE DOCUMENTATION FOR ENGINEERS APPROVAL TO JUSTIFY ANY VARIANCES FROM THIS DETAIL.



NOTES

- TAKEN FROM GEORGIA DOT DETAIL NO. 1001-B.
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- USE PRECAST CONCRETE HEADWALL.

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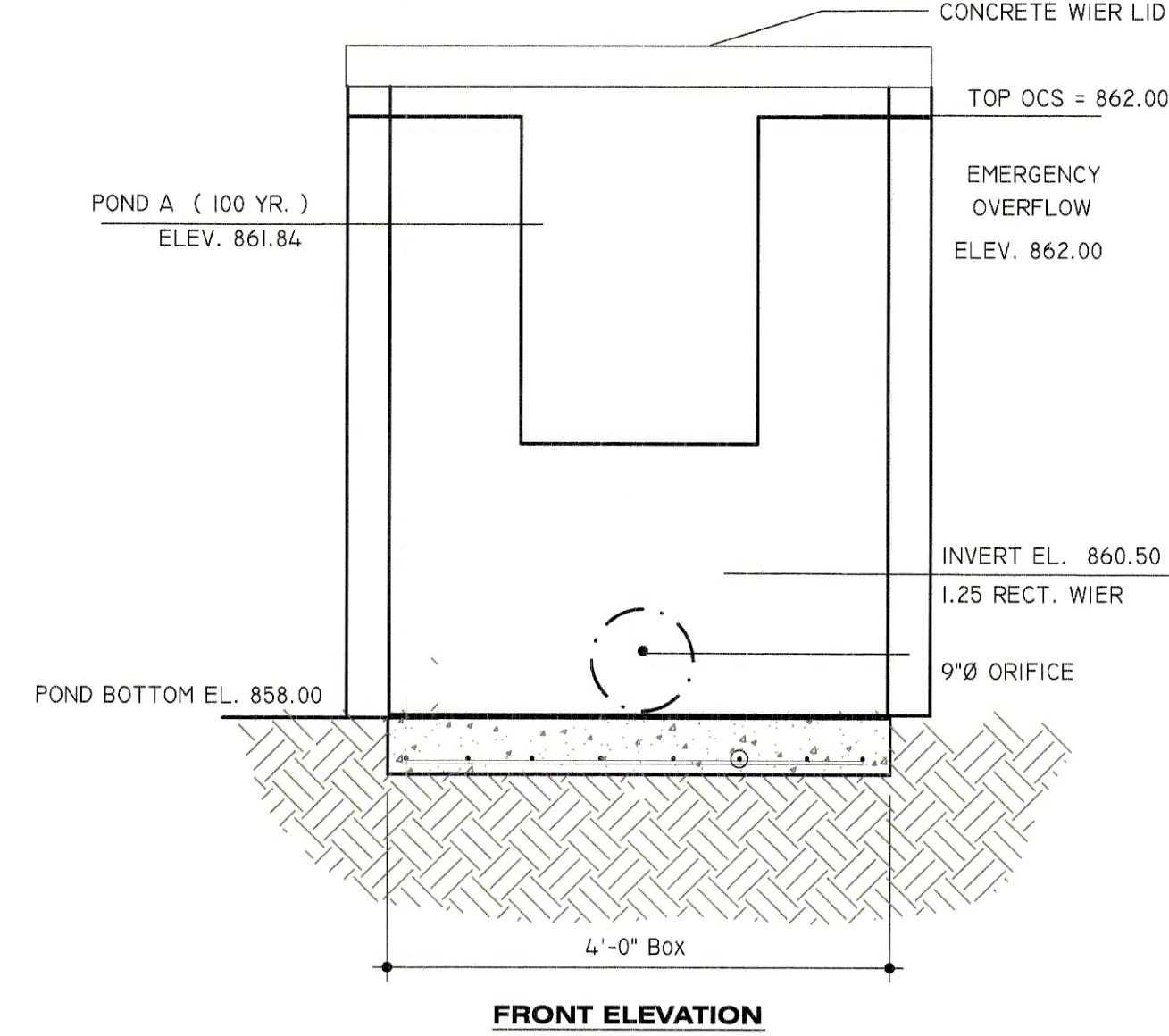
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STATE ROUTE 113**  
LAND LOT 390, 4th DIST., 3rd SECT  
BARTOW COUNTY, GEORGIA

**GRADING & DRAINAGE  
PLAN**

PROJ. NO.:            CITY-03  
DATE:            1-15-04  
SCALE:            1"=50'  
DWG. NO.: **C3.1**

STORAGE ELEVATIONS BY EVENT YEAR	
EVENT YEAR	WATER ELEVATION
2 YEAR	859.59
5 YEAR	860.53
10 YEAR	861.07
25 YEAR	861.49
50 YEAR	861.74
100 YEAR	861.84



**OUTLET CONTROL STRUCTURE DETAIL**  
N.T.S.

**24 HR CONTACT  
HAL REGAN  
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Call Before You Dig !!  
  
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(800) 282-7411



SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
2. SILT FENCES SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
3. SILT FENCE FABRIC SHALL MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCES, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS, 1983 EDITION
4. ALL GRASSING SHALL BE IN ACCORDANCE WITH CHAPTER 6, SECTION III "VEGETATIVE PRACTICES" OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
5. ALL OTHER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS SAME MANUAL.
6. THE CONTRACTOR SHALL FURNISH THE COUNTY WITH A SCHEDULE OF ANTICIPATED STARTING AND COMPLETION DATES FOR EACH SEQUENCE OF LAND DISTURBING ACTIVITY LISTED IN ITEMS ONE THROUGH FIVE ABOVE.
7. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E. CONSTRUCTION EXITS AND SILT FENCES SHALL BE RETOPPED OR OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
8. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
9. TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN A MONTH.
10. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS QUICKLY AS POSSIBLE.
11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. DATES FOR EACH SEQUENCE OF LAND DISTURBING ACTIVITY LISTED IN
12. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS QUICKLY AS POSSIBLE.
13. ADDITIONAL MEASURES WILL BE INSTALLED TO CONTROL EROSION AS DETERMINED BY COUNTY INSPECTORS.
14. EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.

EROSION CONTROL NOTES

1. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY COUNTY.
2. DISTURBED AREAS LEFT IDLE FOR FIVE (5) DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION (Ds1). DISTURBED AREAS LEFT IDLE FOR TWO WEEKS OR MORE WILL BE ESTABLISHED TO PERMANENT VEGETATION (Ds3). ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION IMMEDIATELY UPON COMPLETION. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. MULCH WILL BE USED AS A TEMPORARY COVER (Ds3). ON SLOPES THAT ARE GREATER THAN 2:1, MULCH, IF USED WILL BE ANCHORED.
3. AN APPROVED LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A COUNTY ROAD OR STREET.
4. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ONSITE. PLEASE CALL (770) 528-2134 WITH ENOUGH LEAD TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
5. SEDIMENT/EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INTALLED IF NEW CHANNELS HAVE DEVELOPED.
6. ALL SLOPES TO BE HYDROSEEDDED AS SOON AS POSSIBLE.
7. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND ACTIVITIES.
8. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ACTIVITY SCHEDULE

ACTIVITY	DATES
EROSION CONTROL FENCE	4/01/04
STORMWATER MGMT FACILITIES	WEEK 1
SITE DEMOLITION/CLEARING	WEEK 1-2
GRADING, DRAINAGE & UTILITIES	WEEK 1-2
BUILDING CONSTRUCTION	WEEK 5-14
PAVEMENT RESURFACING	WEEK 15
LANDSCAPING/EROSION CONTROL	WEEK 16-END

NOTES:  
1. ALL AREAS TO BE SEEDED SHALL HAVE LIME APPLIED AT A RATE OF 90 LB/1000 SF. LIME AND FERTILIZER TO BE APPLIED PRIOR TO APPLICATION OF SEED AND MIXED THOROUGHLY WITH SOIL.  
2. ALL AREAS SEEDED SHALL HAVE AN APPLICATION OF STRAW MULCH IMMEDIATELY AFTER APPLICATION OF FERTILIZER REGARDLESS OF PLANTING METHOD AT THE RATE OF APPROXIMATELY 2 TONS PER ACRE.  
3. LAND STABILIZATION BY TEMPORARY AND/OR PERMANENT COVER WILL BEGIN AS QUICKLY AS POSSIBLE WITHIN 21 DAYS OF THE COMMENCEMENT OF GRADING.

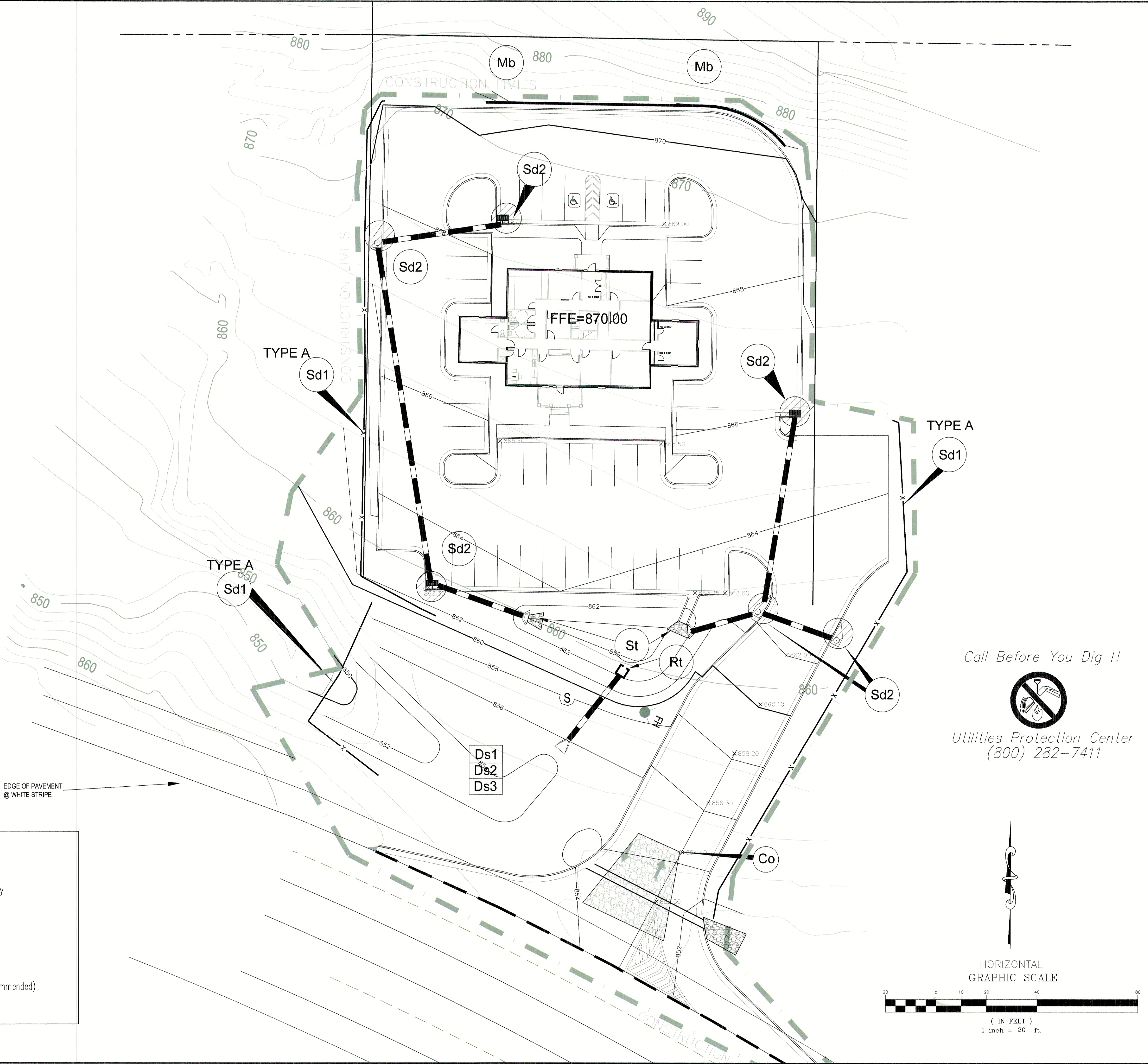
EROSION CONTROL LEGEND

- (Co) CONSTRUCTION ENTRANCE/EXIT
- (Sd1) SEDIMENT BARRIER
- (Sd2) SEDIMENT PROTECTION
- DS1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
- DS2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
- DS3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

TEMPORARY SEDIMENT BASIN A

1. Drainage Area=68ac
2. Required Sediment Storage = 67 cy/ac \* drainage area  
Required Sediment Storage = 67 cy \* 68 ac= 4556 cy  
Required Sediment Storage = 45.56 cy = 1230.12 cf
3. Assume Excavation Depth (minimum 1.5 ft.) = 2.0 ft
4. Assume Slope of Sides (2:1 max) = 3:1
5. Determine Required Surface Area  
SAmin = Required Sediment Storage / Excavated Depth  
SAmin = 1230.12 / 2.0 ft  
SAmin = 615.06 sf
6. Assume Shape of excavation and determine dimensions.  
(A triangle shape with 2:1 length to width ratio is recommended)  
Shape: TRIANGLE  
Dimensions: SEE PLAN

EDGE OF PAVEMENT  
@ WHITE STRIPE



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**GA FARM CREDIT  
STATE ROUTE 113**  
LAND LOT 390, 4th DIST., 3rd SECT  
BARTOW COUNTY, GEORGIA

**EROSION CONTROL  
PLAN**

PROJ. NO.: CITY-03  
DATE: 1-15-04  
SCALE: 1"=SCALE'  
DWG. NO.: **C4.1**

DATE	REVISIONS	DESCRIPTION
3/1/04	1	SUBMITTAL TO GDOT
2/24/04	1	SUBMITTAL TO CITY OF CARTERSVILLE



DESIGNED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
APPROVED: \_\_\_\_\_



DETENTION POND MAINTENANCE

GENERAL  
All detention ponds will remain the property and responsibility of the owner/developer who receives the initial permit for development of the property. The owner/developer shall be responsible for all inspection, maintenance, and repair of the facility.

INSPECTION  
Inspect detention pond for erosion and any changes after every major storm event but at least monthly. Inspect embankments for any visible signs of erosion, seepage, sloughing, sliding, or other instability. Inspect outlet structures for flow obstructions, cracks, vandalism, or erosion. Notify CITY Engineer of any observed problems.

REGULAR MAINTENANCE  
\* Proceed with corrective measures for observed problems immediately or as soon as weather conditions permit.  
\* Maintain good grass cover at all times. Fertilize grass according to type of grass and recommended plan.  
\* Mow grass as required. Remove undesirable vegetation such as trees, bushes, vines, and briars.  
\* Fill all eroded gullies and vehicle ruts and compact soil. Backfill any hollow spots under concrete spillways or outlet structures and compact soil. Replace any riprap that has washed away from spillways and pipe outlets. Determine the cause of any slides or sloughs and repair. Take corrective action to prevent future recurrence.  
\* Remove all trash, debris, tree limbs, or other flow obstructions from detention pond, outlet structures, and pipes. Fill all animal burrows and compact soil. Repair vandalism. Maintain pond and outlet structures in good working order.  
\* Inspect fence and repair as necessary.  
\* Inspect pond after every 1/2" rainfall within 24 hours.

ANNUAL MAINTENANCE  
Remove vegetation from any cracks in concrete spillways or outlet structures and seal with mastic joint filler. Lubricate and test moving parts on gates, valves, etc. Repair metal parts to prevent rust. Replace badly rusted parts. Remove any accumulated sediment to restore pond to design volume. Reseed or resod grass as necessary to maintain good vegetative cover.

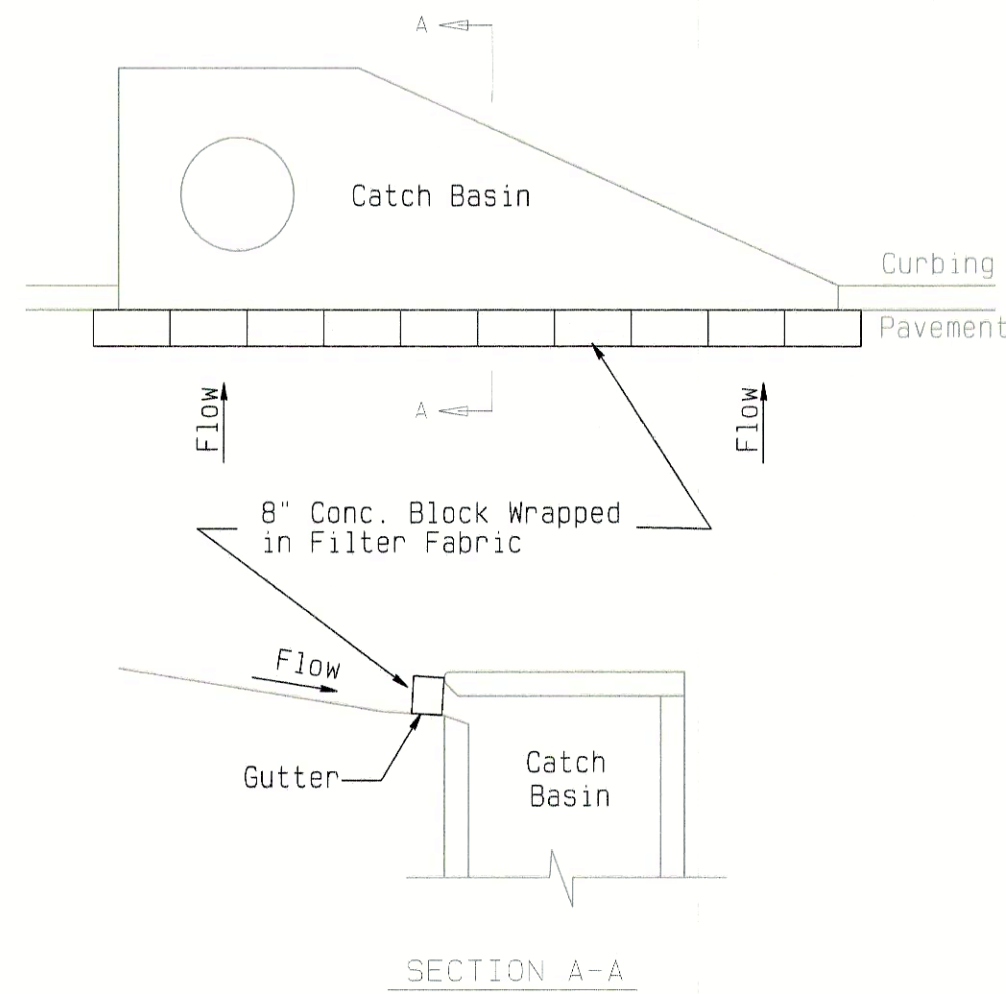


\*NOTE\*  
CONTRACTOR TO PROVIDE MULCH, TEMPORARY VEGETATION, OR PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE.

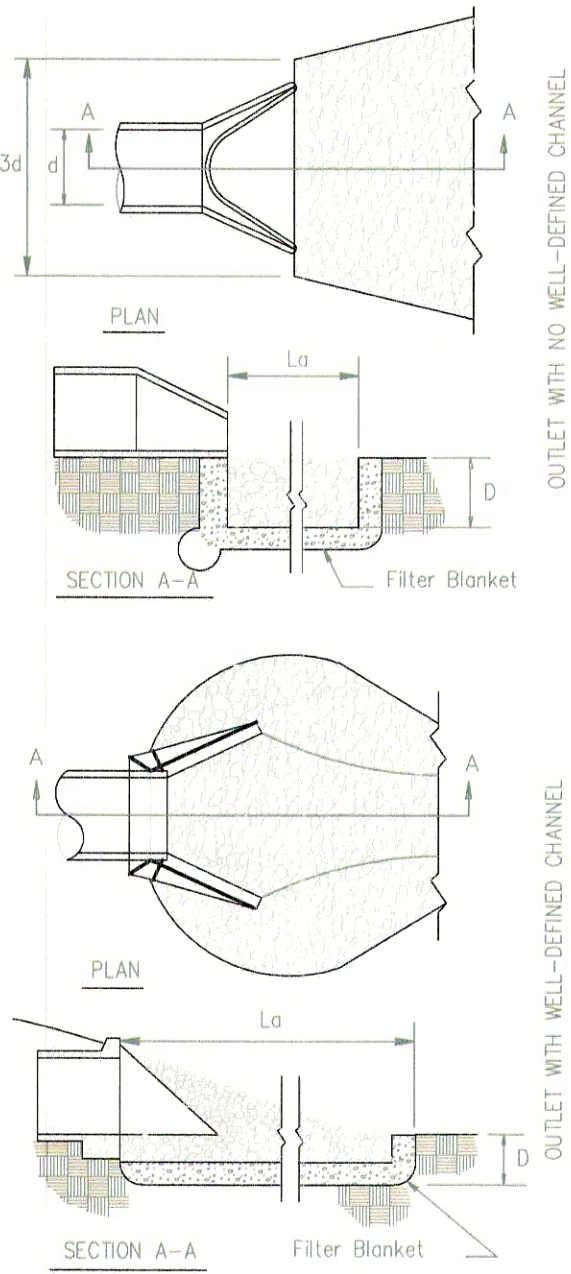
USE ONE OF THE FOLLOWING MATERIALS:	
MATERIAL	DEPTH
STRAW OR HAY*	4" TO 6"
PIKE STRAW OR BARK	4" TO 6"
WOODPULP	8" TO 8"
FIBER	1000 LBS./ACRE

\* APPLY AT A RATE OF 2 TO 2 1/2 TONS PER ACRE

Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY) N.T.S.



Sd2 CURB INLET SEDIMENT TRAP NTS

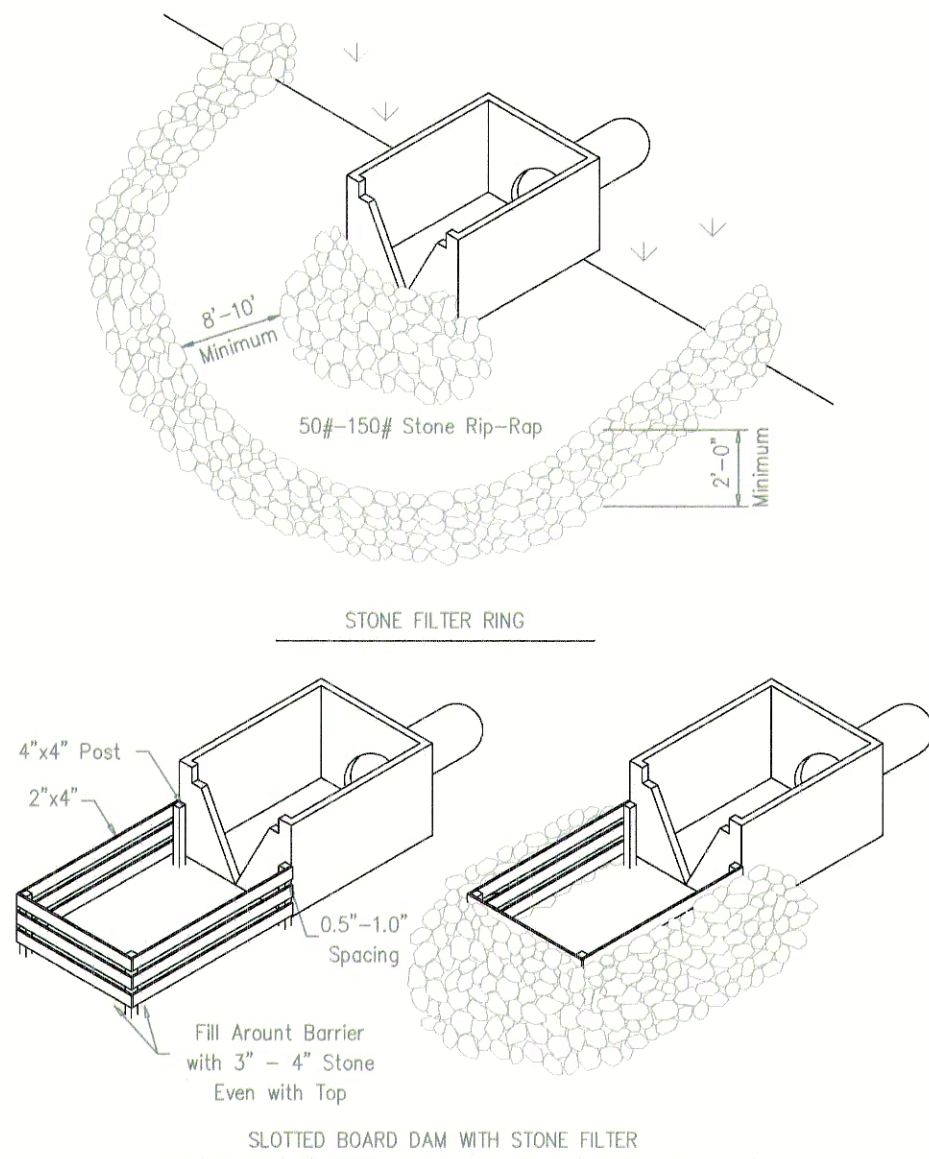


St STORM DRAIN OUTLET PROTECTION NTS

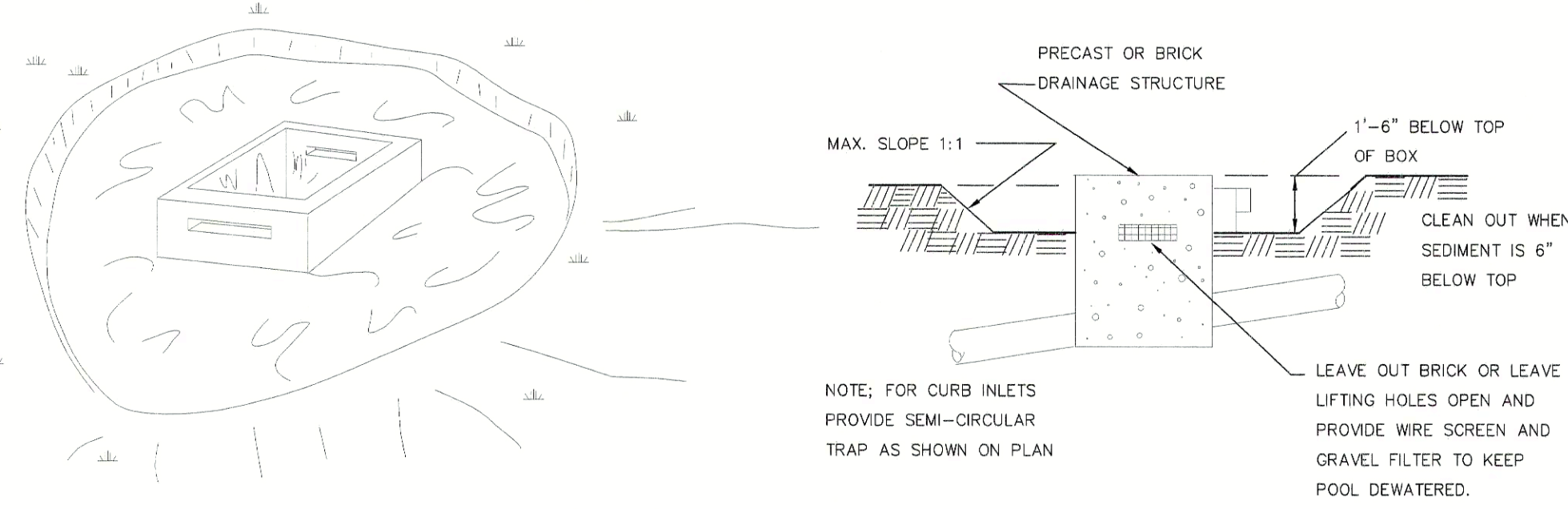
- NOTES:
- La is the length of the riprap apron.
  - D = 1.5 times the maximum stone diameter, but not less than 6".
  - In a well-defined channel, extend the apron up the channel banks to an elevation of 6" above the maximum tailwater depth or to the top of the bank, whichever is less.
  - A filter blanket or filter fabric should be installed between the riprap and soil foundation.

GRADED RIPRAP STONE		
Flow Velocity	N.S.A. No.	Avg. Size
2.5	R-1	9"
4.5	R-2	1 6"
6.5	R-3	3"
9.0	R-4	6"
11.5	R-5	9"
13.0	R-6	12"
14.5	R-7	15"

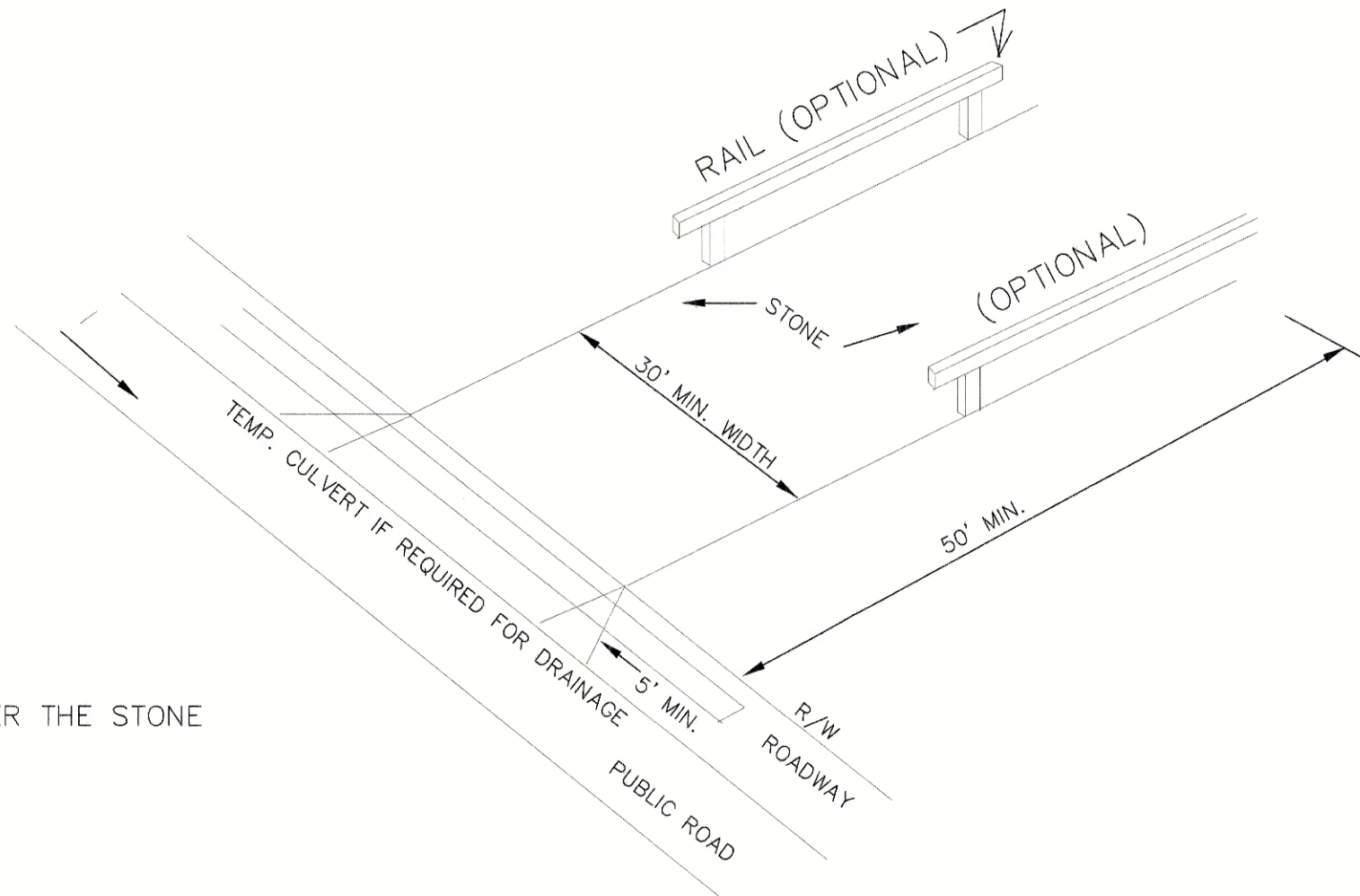
EQUIVALENT GDOT RIPRAP	
R-1 thru R-5	GDOT Type 3
R-6 thru R-7	GDOT Type 1



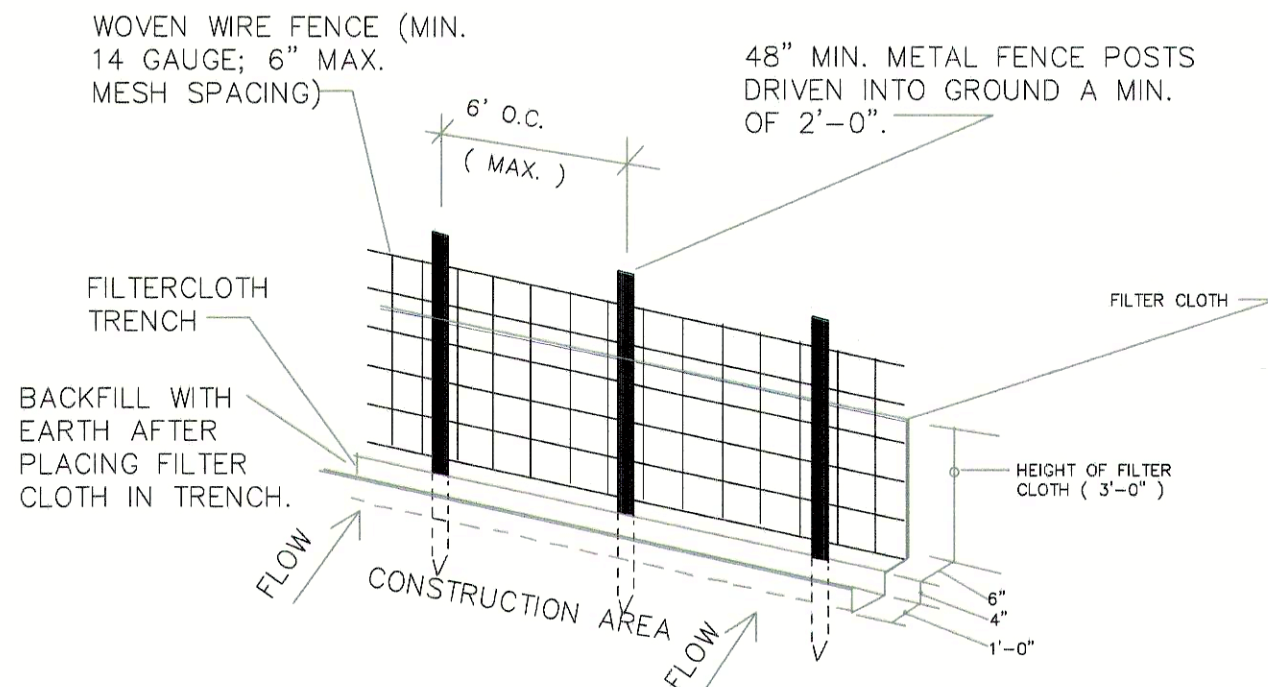
Rt RETROFITTING NTS



Sd2 TEMPORARY SEDIMENT TRAP NTS



Co CONSTRUCTION ENTRANCE / EXIT NTS



- CONSTRUCTION SPECIFICATIONS
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST BY USE OF WIRE TIES.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE BY USE OF WIRE TIES SPACED EVERY 24"x24".
  - SILT FENCES TO BE INSTALLED IN LOCATIONS AS SHOWN ON THIS EROSION AND SEDIMENT CONTROL PLAN PRIOR TO BEGINNING OF CONSTRUCTION TO CONTROL SEDIMENT.
  - SILT FENCE TO BE MAINTAINED AND CLEANED AS NECESSARY TO MAINTAIN IN FUNCTIONAL CONDITION.
  - SILT FENCES TO BE REMOVED AND THE AREA TO BE RESTORED TO ITS NATURAL CONDITION WHEN PERMANENT EROSION AND SEDIMENT CONTROL PROCEDURES ARE EFFECTIVE.

Sd1 SILT FENCE N.T.S.

SPECIES	BROADCAST RATE	J	F	M	A	M	J	J	A	S	O	N	D
BARLEY	144 lbs. per Acre												
LESPEDEZA, ANNUAL	40 lbs. per Acre												
RYEGRASS, ANNUAL	40 lbs. per Acre												
MILLET, PEARL	50 lbs. per Acre												
SUDAGRASS	60 lbs. per Acre												

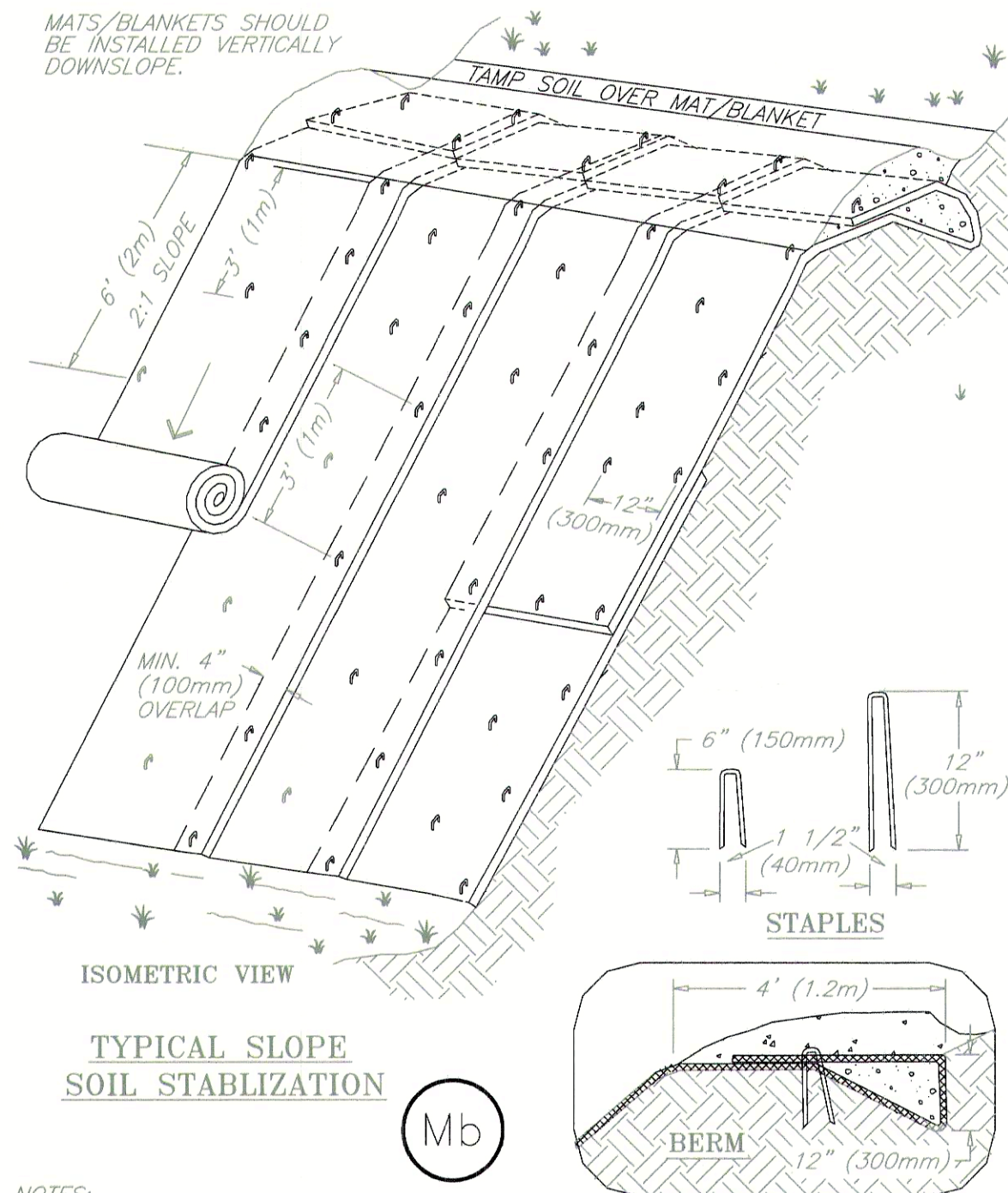
TYPE OF SPECIES	AGRICULTURAL LIME	STRAW MULCH	YEAR	N-P-K	RATE
COOL SEASON GRASSES	1 Ton per Acre	500 lbs per Acre	First Maintenance	10-10-10	500 lbs per Ac.
TEMPORARY COVER CROPS	N/A	N/A	First Maintenance	10-10-10	500 lbs per Ac.
WARM SEASON GRASSES	1 Ton per Acre	500 lbs per Acre	First Maintenance	10-10-10	500 lbs per Ac.

Ds2 TEMPORARY VEGETATIVE COVER PLANTING RATES AND DATES

SPECIES	BROADCAST RATE	J	F	M	A	M	J	J	A	S	O	N	D
BAHIA, PENSACOLA	60 lbs. per Acre												
BAHIA, WILMINGTON	10 lbs. per Acre												
BERMUDA, COMMON (Hulled Seed)	10 lbs. per Acre												
BERMUDA, COMMON (Unhulled Seed)	10 lbs. per Acre												
FESCUE, TALL	50 lbs. per Acre												
LESPEDEZA, SERICEA	60 lbs. per Acre												

TYPE OF SPECIES	AGRICULTURAL LIME	STRAW MULCH	YEAR	N-P-K	RATE
COOL SEASON GRASSES	1 - 2 Tons per Acre	2 Tons per Acre	First Maintenance	6-12-12	1500 lbs per Ac.
TEMPORARY COVER CROPS	N/A	N/A	First Maintenance	6-12-12	1000 lbs per Ac.
WARM SEASON GRASSES	1 - 2 Tons per Acre	2 Tons per Acre	First Maintenance	6-12-12	1500 lbs per Ac.

Ds3 PERMANENT VEGETATIVE COVER PLANTING RATES AND DATES



- NOTES:
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
  - APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
  - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION BLANKETS & TURF REINFORCEMENT MATS SLOPE INSTALLATION

DATE	REVISIONS
3/1/04	1 SUBMITTAL TO GDOT
2/24/04	1 SUBMITTAL TO CITY OF CARTERSVILLE



DESIGNED :  
DRAWN :  
CHECKED :  
APPROVED :

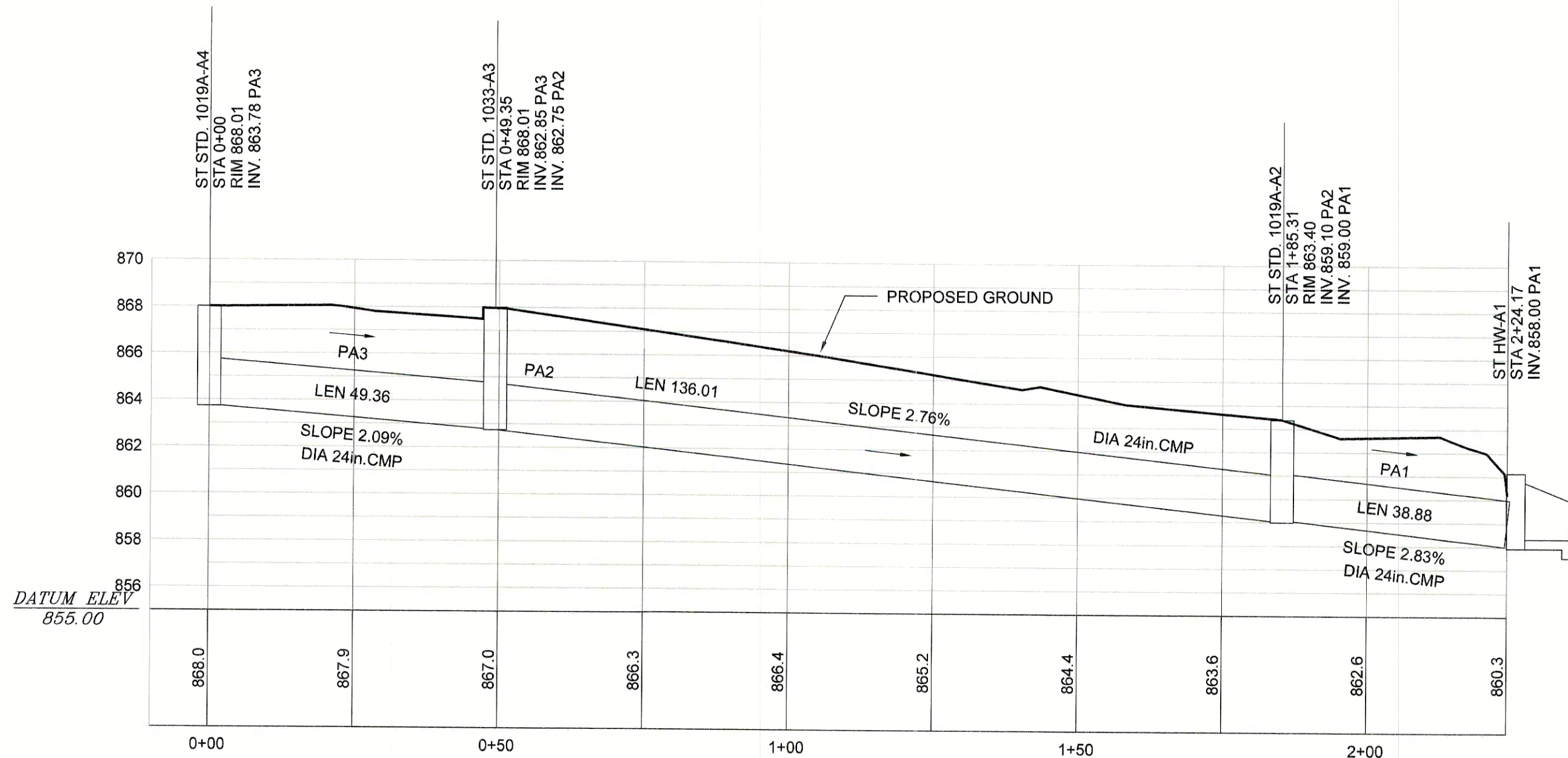
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(770) 387-0440

**GA FARM CREDIT**  
**STATE ROUTE 113**  
LAND LOT 390, 4th DIST., 3rd SECT  
BARTOW COUNTY, GEORGIA

**EROSION CONTROL**  
**DETAILS**

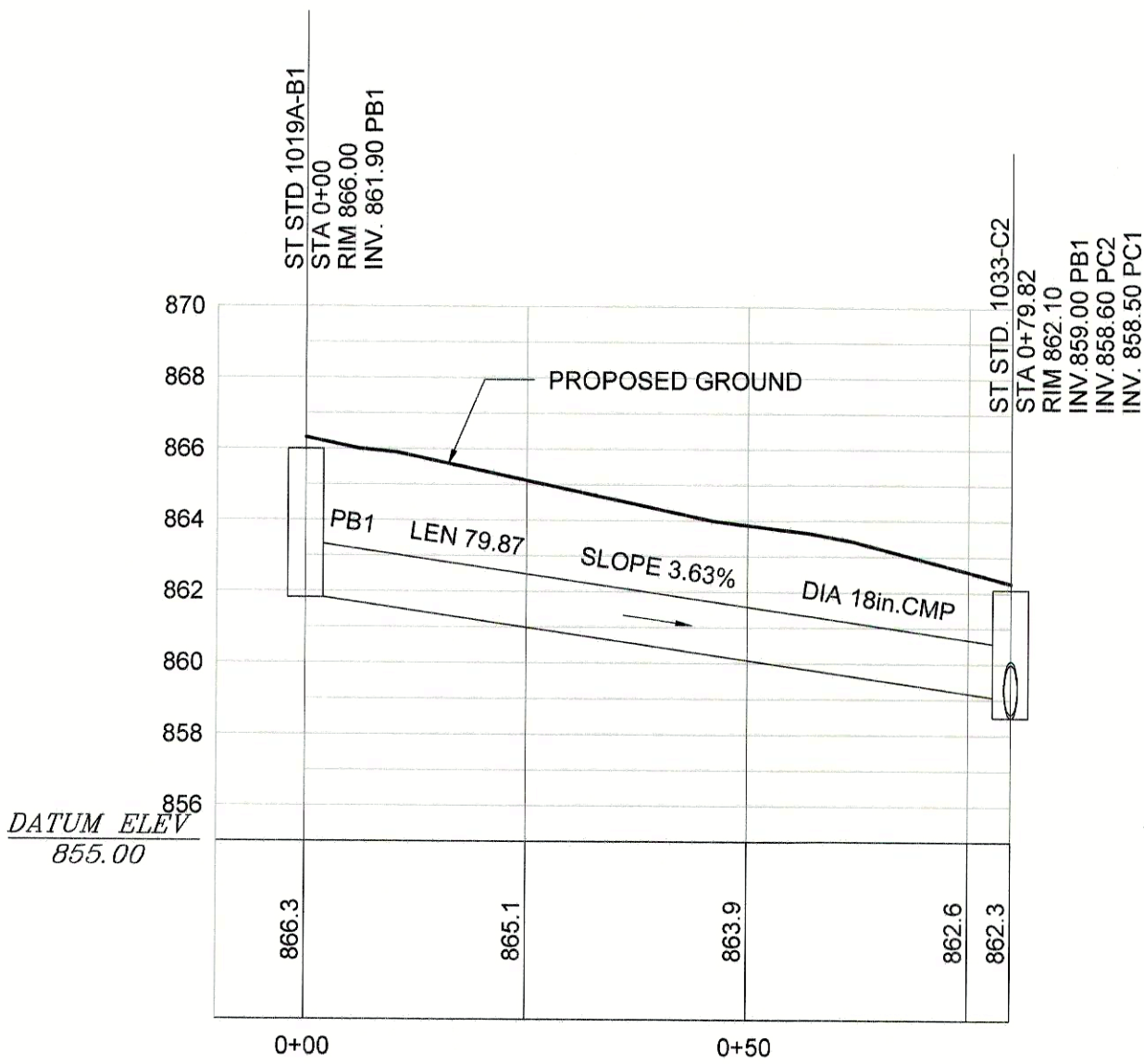
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DWG. NO.: **C4.2**





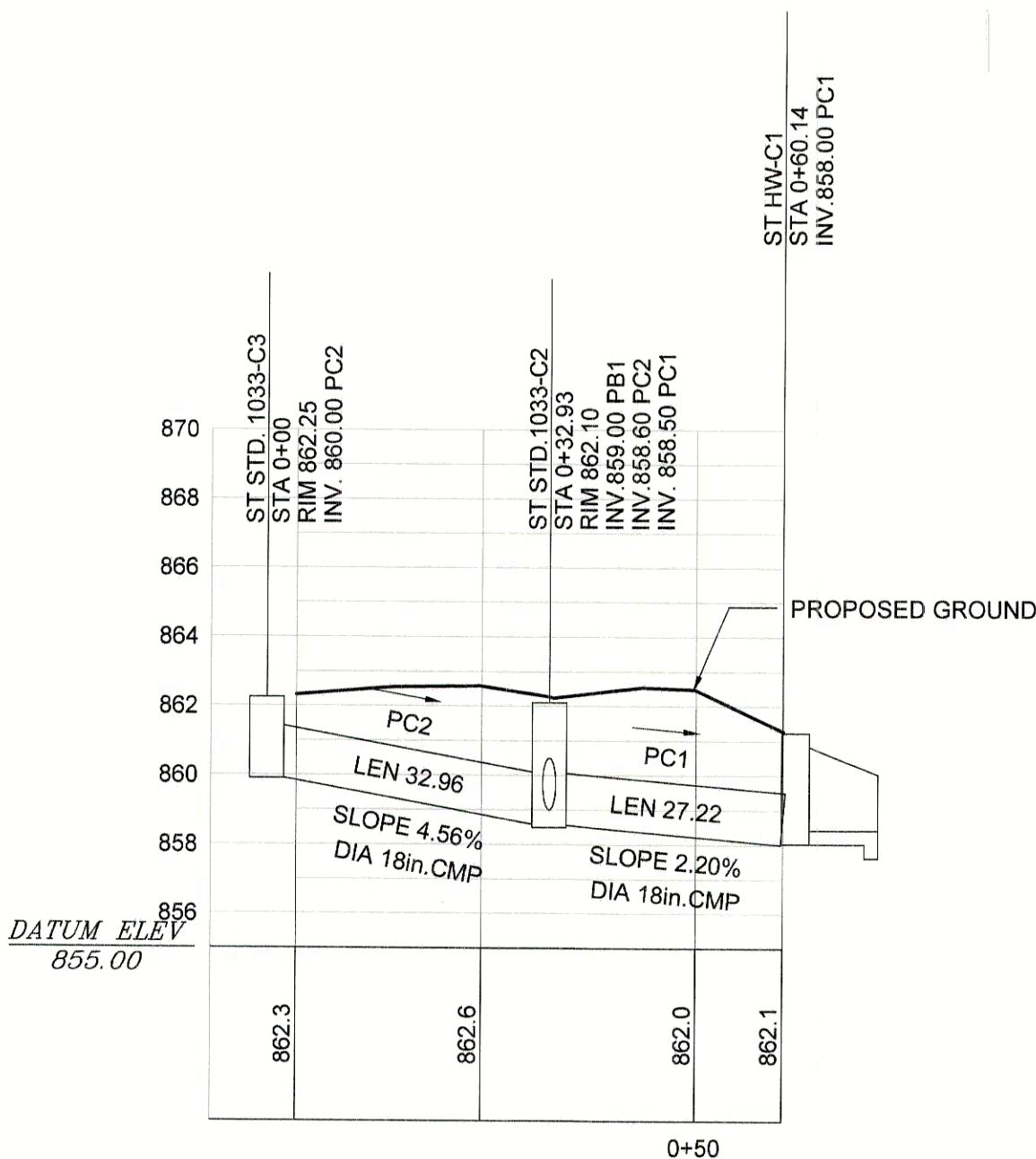
**STORM SEWER A PROFILE**

SCALE: HOR. 1" = 20'-0"  
SCALE: VERT. 1" = 5'-0"



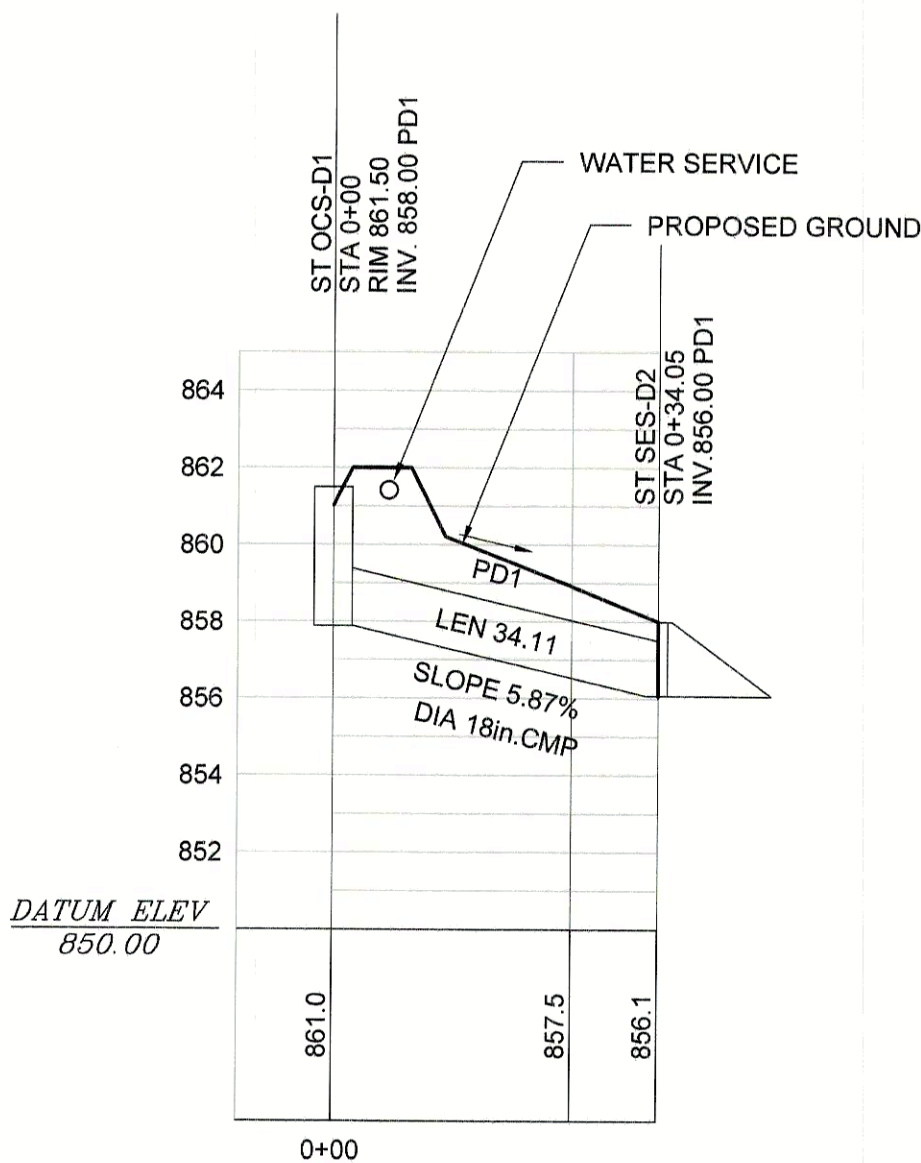
**STORM SEWER B PROFILE**

SCALE: HOR. 1" = 20'-0"  
SCALE: VERT. 1" = 5'-0"



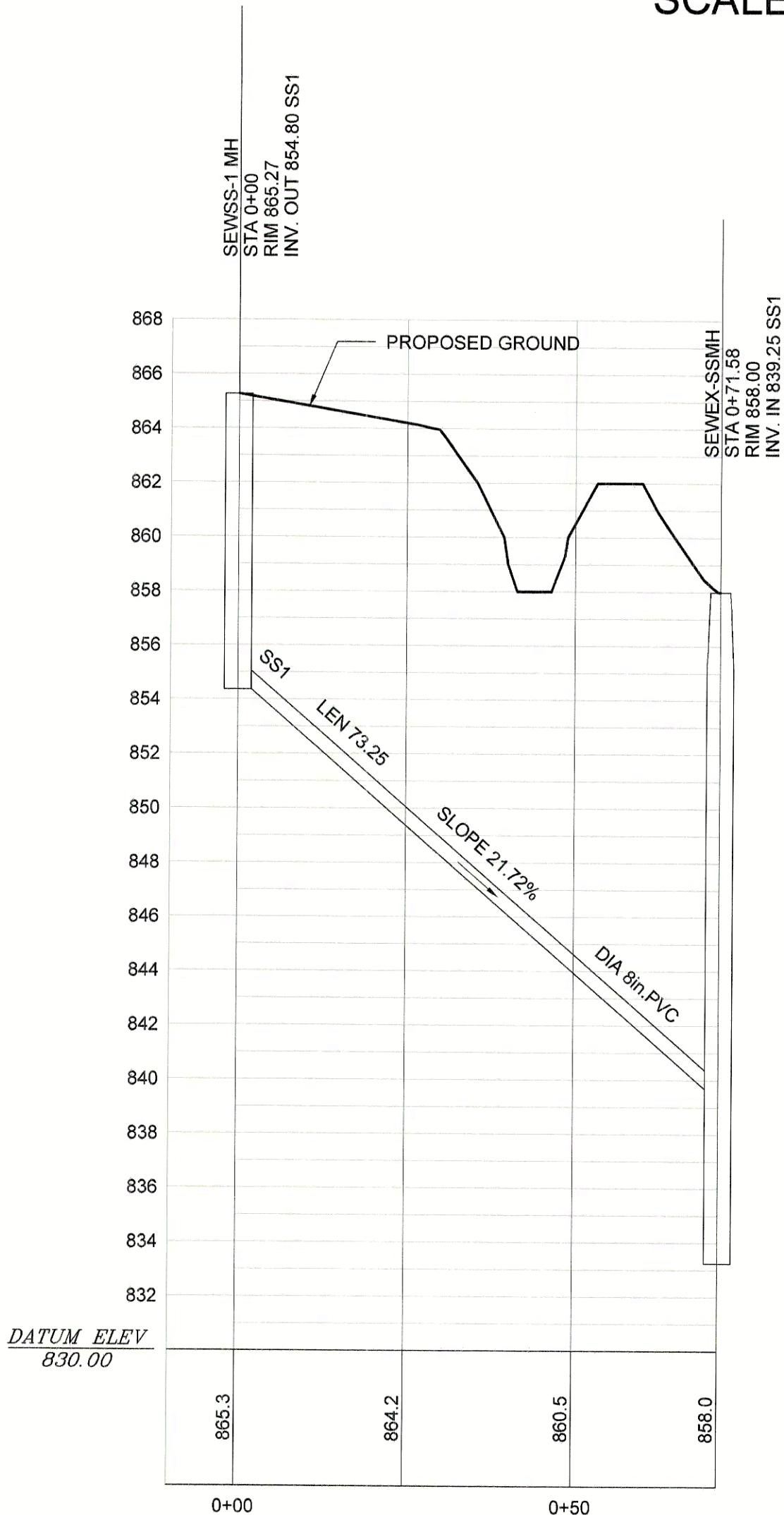
**STORM SEWER C PROFILE**

SCALE: HOR. 1" = 20'-0"  
SCALE: VERT. 1" = 5'-0"



**STORM SEWER A PROFILE**

SCALE: HOR. 1" = 20'-0"  
SCALE: VERT. 1" = 5'-0"



**SANITARY SEWER SS-1 PROFILE**

SCALE: HOR. 1" = 20'-0"  
SCALE: VERT. 1" = 5'-0"

DATE	REVISIONS
3/1/04	1 SUBMITTAL TO GDOT
2/24/04	1 SUBMITTAL TO CITY OF CARTERSVILLE



DESIGNED :  
DRAWN :  
CHECKED :  
APPROVED :

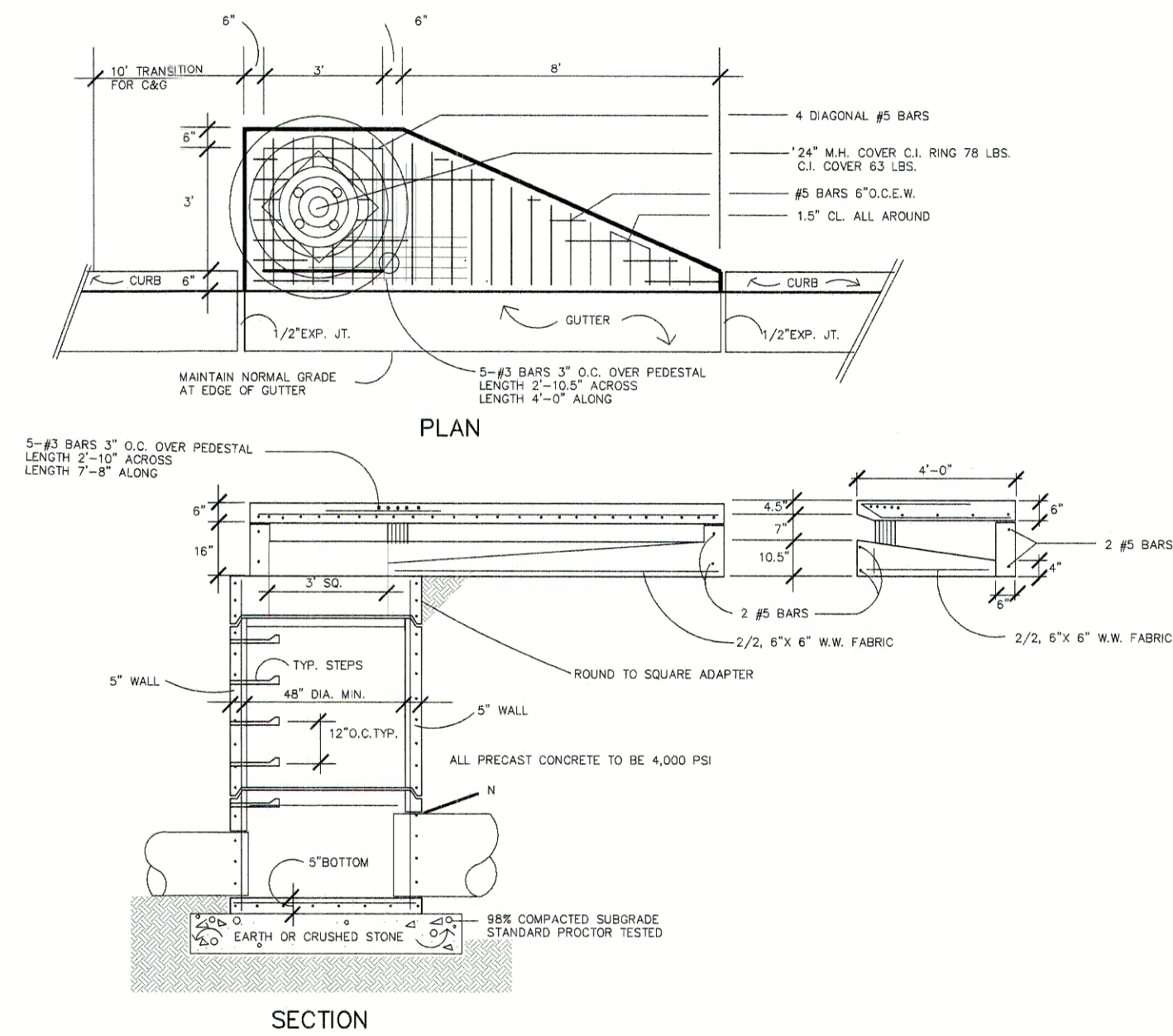
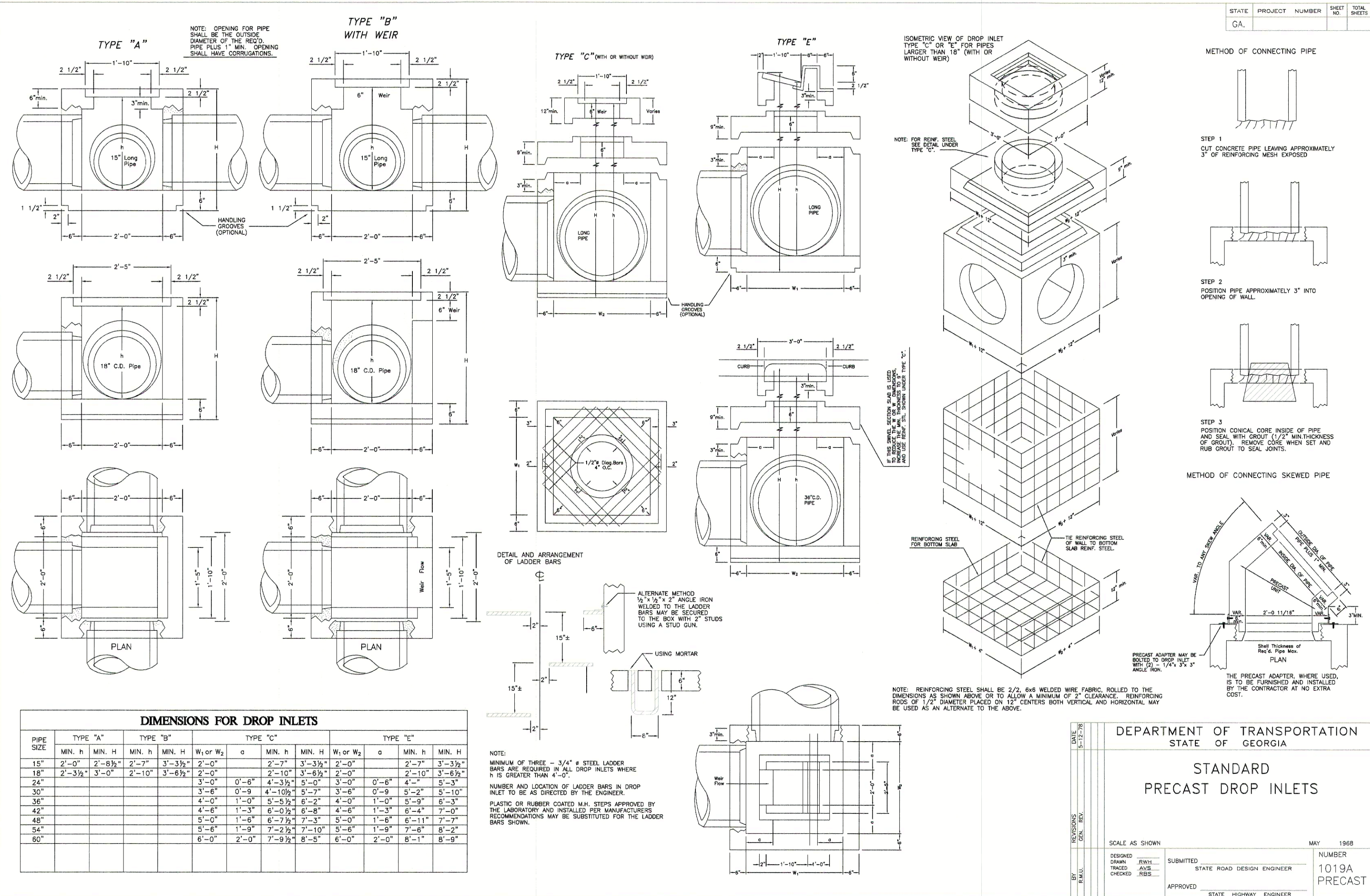
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LAND LOT 390, 4th DIST., 3rd SECT  
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**STORM & SEWER  
PROFILES**

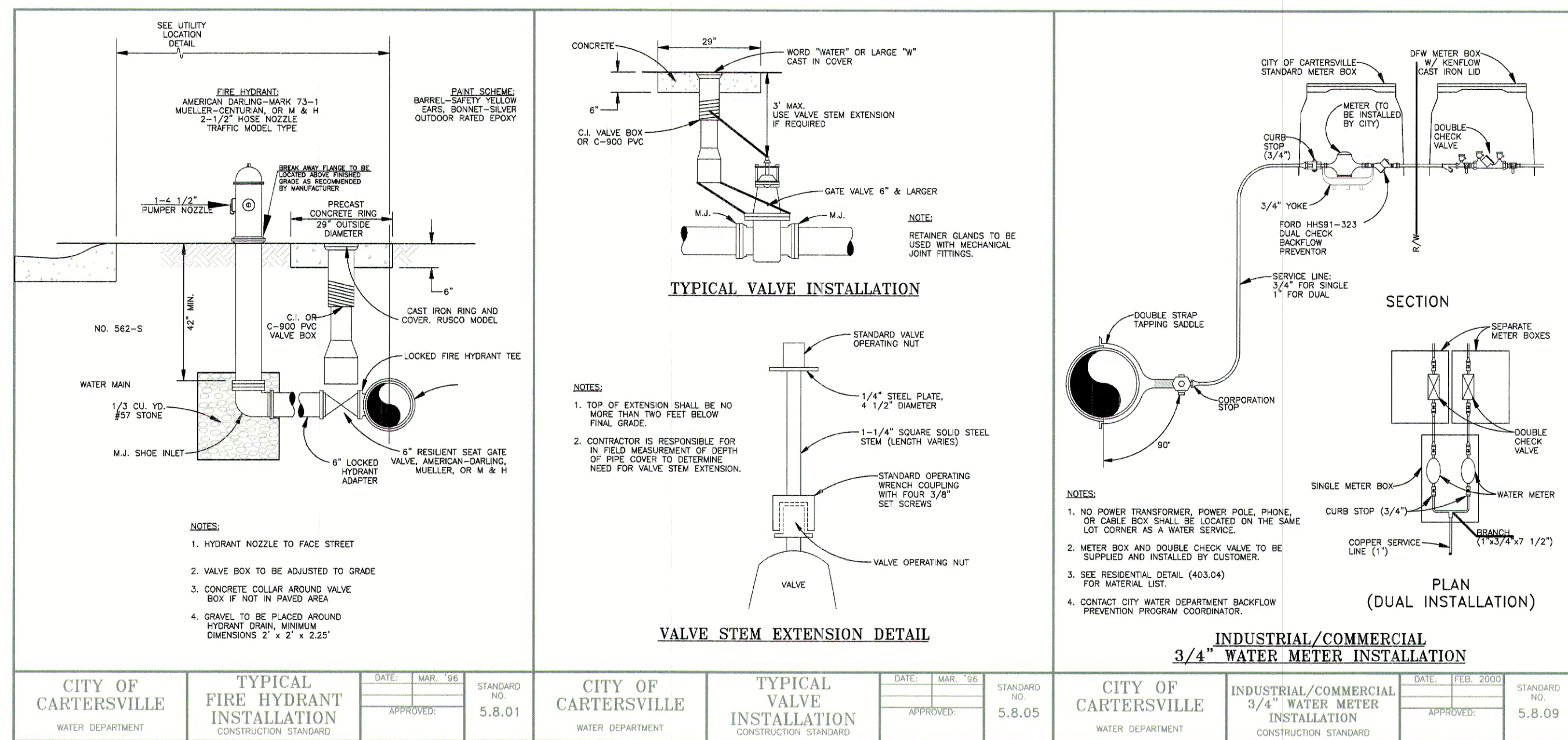
PROJ. NO.: C15-03  
DATE: 1-15-04  
SCALE: 1"=SCALE'  
DWG. NO.: **C5.1**





3 STD. DOT CURB INLET 1033  
C6.1 NOT TO SCALE

1 STD. DOT 1019 DROP INLET  
C7.2 NOT TO SCALE



DATE	NO.	DESCRIPTION
3/1/04	1	SUBMITTAL TO GDOT
2/24/04	1	SUBMITTAL TO CITY OF CARTERSVILLE
DATE		REVISIONS



DESIGNED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
APPROVED: \_\_\_\_\_

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**STATE ROUTE 113**  
LAND LOT 390, 4th DIST., 3rd SECT  
BARTOW COUNTY, GEORGIA

**TYPICAL DETAILS**

PROJ. NO.: \_\_\_\_\_ CITY-02  
DATE: \_\_\_\_\_ 1-15-04  
SCALE: \_\_\_\_\_ 1"=50'-0"  
DWG. NO.: **C6.1**